



**“The City With a Heart”**

Jim Ruane, Mayor  
Irene O’Connell, Vice Mayor  
Ken Ibarra, Councilmember  
Rico E. Medina, Councilmember  
Michael Salazar, Councilmember

**AGENDA**  
**SAN BRUNO CITY COUNCIL – SPECIAL MEETING**  
**October 22, 2013**  
**6:00 p.m.**

**Meeting Location: Senior Center, 1555 Crystal Springs Road, San Bruno**

City Council meetings are conducted in accordance with Roberts Rules of Order Newly Revised and City Council Rules of Procedure. You may address any agenda item by standing at the microphone until recognized by the Council. All regular Council meetings are recorded and televised on CATV Channel 1 and replayed the following Thursday, at 2:00 pm. You may listen to recordings in the City Clerk’s Office, purchase CD’s, access our web site at [www.sanbruno.ca.gov](http://www.sanbruno.ca.gov) or check out copies at the Library. We welcome your participation. In compliance with the Americans with Disabilities Act, individuals requiring reasonable accommodations or appropriate alternative formats for notices, agendas and records for this meeting should notify us 48 hours prior to meeting. Please call the City Clerk’s Office 650-616-7058.

**1. CALL TO ORDER:**

**2. ROLL CALL:**

**3. PUBLIC COMMENT ON ITEMS NOT ON AGENDA:** Individuals allowed three minutes, groups in attendance, five minutes. If you are unable to remain at the meeting, ask the City Clerk to request that the Council consider your comments earlier. It is the Council’s policy to refer matters raised in this forum to staff for investigation and/or action where appropriate. The Brown Act prohibits the Council from discussing or acting upon any matter not agendized pursuant to State Law.

**4. CONDUCT OF BUSINESS:**

Conduct Study Session to Review the FY 2013-18 Capital Improvements Program and FY 13-14 Capital Improvements Program Budget.

**5. ADJOURNMENT:**

The next regular City Council Meeting will be held on October 22, 2013 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.



**“The City With a Heart”**

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**AGENDA**  
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**October 22, 2013**  
**7:00 p.m.**

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Thank the **San Bruno Garden Club** for providing the beautiful floral arrangement.

**1. CALL TO ORDER:**

**2. ROLL CALL/PLEDGE OF ALLEGIANCE:**

**3. ANNOUNCEMENTS:**

There will not be a City Council Meeting on December 24, the fourth Tuesday in December. The only Regular City Council Meeting in December will be held on December 10, 2013.

**4. PRESENTATIONS:**

Present 30-year Service Award to Information Technology Analyst Eric Jackson.

**5. REVIEW OF AGENDA:**

**6. APPROVAL OF MINUTES:** Special City Council Meeting of October 8, 2013 and City Council Meeting of October 8, 2013.

**7. CONSENT CALENDAR:** All items are considered routine or implement an earlier Council action and may be enacted by one motion; there will be no separate discussion unless requested by a Councilmember, citizen or staff.

- a. **Approve:** Accounts Payable of September 30, October 7 and 14, 2013.
- b. **Approve:** Payroll of September 30, 2013.
- c. **Accept:** Reconciliation of General Ledger to Bank Reports and the Investment Reports Dated September 30, 2013.
- d. **Adopt:** Resolution Approving Out of State Travel for Cable Department Staff to Attend Cable Television Industry Conferences in FY 2013-14.
- e. **Appoint:** Representative to Serve a Four-Year Term on the Mosquito Abatement District Board.
- f. **Accept:** Resignation from Citizens Crime Prevention Committee Member. Declare a Committee Member Vacancy and Direct the City Clerk to Initiate the Process for Appointment of a New Member.

**8. PUBLIC HEARINGS:**

- 9. PUBLIC COMMENT ON ITEMS NOT ON AGENDA:** Individuals allowed three minutes, groups in attendance, five minutes. If you are unable to remain at the meeting, ask the City Clerk to request that the Council consider your comments earlier. It is the Council's policy to refer matters raised in this forum to staff for investigation and/or action where appropriate. The Brown Act prohibits the Council from discussing or acting upon any matter not agendaized pursuant to State Law.

**10. CONDUCT OF BUSINESS:**

- a. Receive Report on the Well 15 Replacement Project and Authorize Design of Proposed Test Well at the Acappella Site and an Optional Test Well at the Commodore Park Site.
- b. Receive Report and Provide Direction to Staff Regarding Alternatives for the Trenton Sewer Replacement Project.
- c. Adopt Resolution Approving Installation of New Stop Signs:
  - On the Eastern Leg of Angus Avenue at Huntington Avenue
  - On the Western Leg of Angus Avenue at First Avenue
  - On the Northern and Southern Legs of San Mateo
- d. Adopt Resolution Approving a Sanitary Sewer Lateral Replacement Program in the Crestmoor Neighborhood.

**11. REPORT OF COMMISSIONS, BOARDS, & COMMITTEES:**

**12. COMMENTS FROM COUNCIL MEMBERS:**

**13. CLOSED SESSION:**

- a. Conference with Real Property Negotiator Pursuant to Government Code Section 54956.8  
Property: Property Address 105 Cabrillo Way  
Agency Negotiator: City Manager  
Negotiating Party: City of San Bruno  
Under Negotiation: Price and Terms of Payment
- b. Conference with Labor Negotiators Pursuant to Gov't Code Section 54957.6; Agency Designated Representatives: City Manager, Human Resources Director, and Finance Director; Employee Organizations: Miscellaneous Bargaining Unit, Mid Management Bargaining Unit, San Bruno Management Employee Association, Public Safety Mid Management Bargaining Unit, Police Bargaining Unit, and Fire Bargaining Unit.

**14. ADJOURNMENT:**

The next regular City Council Meeting will be held on November 12, 2013 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.



**“The City With a Heart”**

Jim Ruane, Mayor  
Irene O’Connell, Vice Mayor  
Ken Ibarra, Councilmember  
Rico E. Medina, Councilmember  
Michael Salazar, Councilmember

**MINUTES**  
**SAN BRUNO CITY COUNCIL – SPECIAL MEETING**

**October 8, 2013**

**6:00 p.m.**

**1. CALL TO ORDER: THIS IS TO CERTIFY THAT** the San Bruno City Council met on October 8, 2013 at the San Bruno Senior Center, at 1555 Crystal Springs Rd., San Bruno, CA. The special meeting was called to order at 6:08 p.m.

**2. ROLL CALL:**

Presiding was Mayor Ruane, Vice Mayor O’Connell, Council Members Medina, Ibarra and Salazar.

**3. PUBLIC COMMENT ON ITEMS NOT ON AGENDA:** None.

**4. CONDUCT OF BUSINESS:**

Conduct Study Session to Review Candidates for Appointment to the San Bruno Community Foundation Board of Directors.

**City Attorney Zafferano** went over the process for appointment to the Board of Directors of the Newly-Established San Bruno Community Foundation. Council held discussions on how they would process the applications and for this meeting, twelve applicants were picked to be interviewed, ten of which will be interviewed in a special meeting on Wednesday, October 9 at 7:00 p.m. at San Bruno’s City Hall, 567 El Camino Real, Room 115, San Bruno and the remaining two will be interviewed on Saturday, October 12 at 9:00 a.m. at San Bruno’s City Hall, 567 El Camino Real, Room 115, San Bruno.

**5. ADJOURNMENT:**

**Mayor Ruane** closed the meeting at 7:00 p.m. The next regular City Council Meeting will be held on October 8 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.

Respectfully submitted for approval  
at the City Council Meeting of  
October 22, 2013

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Carol Bonner, City Clerk

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Jim Ruane, Mayor

**"The City With a Heart"**



Jim Ruane, Mayor  
Irene O'Connell, Vice Mayor  
Ken Ibarra, Councilmember  
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**MINUTES  
SAN BRUNO CITY COUNCIL**

**October 8, 2013**

**7:00 p.m.**

**A Reception will be held in the Senior Center Foyer at 6:45 p.m. to Recognize the Beautification Awards Program Award Recipients**

**Meeting Location: Senior Center, 1555 Crystal Springs Road, San Bruno**

**1. CALL TO ORDER: THIS IS TO CERTIFY THAT** the San Bruno City Council met on October 8, 2013 at the San Bruno Senior Center, at 1555 Crystal Springs Rd., San Bruno, CA. The meeting was called to order at 7:08 p.m. **Mayor Ruane** thanked the Garden Club for the beautiful flower arrangement.

**2. ROLL CALL/PLEDGE OF ALLEGIANCE:**

Presiding was Mayor Ruane, Vice Mayor O'Connell, Council Members Medina, Ibarra and Salazar. **City Manager Jackson** led the Pledge of Allegiance. Recording by City Clerk Bonner.

**3. ANNOUNCEMENTS:**

**Mayor Ruane** said there will not be a City Council Meeting on December 24, the fourth Tuesday in December. The only Regular City Council Meeting in December will be held on December 10, 2013.

**4. PRESENTATIONS:**

a. **Vice Mayor O'Connell** Presented the Beautification Task Force Awards. **Firefighter Chris Wettstein** gave a powerpoint overview of the work done at the American Legion Hall. **Seana O'Shaughnessy** from Rebuilding Together thanked everyone and invited anyone who would like to volunteer to go to the [Rebuildingtogetherpeninsula.org](http://Rebuildingtogetherpeninsula.org) site. **Beautification Task Force Melody Tobin** announced the many awards for those citizens in San Bruno who have improved their homes.

b. **Mayor Ruane** Presented a Proclamation Declaring October 12 as Arbor Day in San Bruno to **Rene Walsh, Parks Supervisor** who thanked the City for the proclamation. He said Arbor Day will be celebrated on Saturday, October 12 at 10:00 a.m. at 7<sup>th</sup> Ave. Park with planting of trees.

**Mayor Ruane** called a short break.

**5. REVIEW OF AGENDA:** No changes.

**6. APPROVAL OF MINUTES:** City Council Meeting of September 24, 2013, approved as submitted.

**7. CONSENT CALENDAR:**

- a. **Approve:** Accounts Payable of September 23, 2013.
- b. **Approve:** Payroll of September 23, 2013.

**M/S Ibarra/Medina** to approve the Consent Calendar and passed with all ayes.

**8. PUBLIC HEARINGS:** None.

**9. PUBLIC COMMENT ON ITEMS NOT ON AGENDA:**

**Robert Riechel, 7<sup>th</sup> Ave.** thanked everyone for coming out to Farmer's Market last Sunday and invited everyone to come out this Sunday

**Marty Medina, Garden Ave.** talked about PVC pipe. He suggested this could be used an alternative to the pipe presently being used at the Candidate's Forum conducted by the League of Women's Voters. He had information that he asked be distributed to Council that stated PVC pipe meets or exceeds all required health and safety standards. He talked about the \$653,000 in uncollected fees. He said this another way we could lower our water and sewer rates. He suggested a larger deposit for someone opening an account in the City.

**10. CONDUCT OF BUSINESS:**

**City Manager Jackson** said they would be Conducting a Study Session to Review the FY 2013-18 Capital Improvements Program and FY 13-14 Capital Improvements Program Budget with no reportable action.

**11. REPORT OF COMMISSIONS, BOARDS, & COMMITTEES:** None.

**12. COMMENTS FROM COUNCIL MEMBERS:**

**13. CLOSED SESSION:** None.

**14. ADJOURNMENT:**

**Mayor Ruane** closed the meeting at 9:30 p.m. The next regular City Council Meeting will be held on October 22 at 7:00 p.m. at the Senior Center, 1555 Crystal Springs Road, San Bruno.

Respectfully submitted for approval  
at the City Council Meeting of  
October 22, 2013

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Carol Bonner, City Clerk

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Jim Ruane, Mayor

09/30/13

CITY OF SAN BRUNO  
WARRANT REGISTER  
TOTAL FUND RECAP

FUND	FUND NAME	AMOUNT
001	GENERAL FUND	\$34,026.75
190	EMERGENCY DISASTER FUND	\$3,179.11
201	PARKS AND FACILITIES CAPITAL	\$103,025.00
611	WATER FUND	\$55,684.10
621	STORMWATER FUND	\$16.12
631	WASTEWATER FUND	\$43,288.77
641	CABLE TV FUND	\$76,547.69
702	FACILITY MAINT. FUND	\$2,155.45
707	TECHNOLOGY DEVELOPMENT	\$1,800.00
711	SELF INSURANCE	\$61,078.56
880	PROJECT DEVELOP. TRUST	\$1,454.80
891	S.B. GARBAGE CO. TRUST	\$40,000.00
TOTAL FOR APPROVAL		\$422,256.35

HONORABLE MAYOR AND CITY COUNCIL:

THIS IS TO CERTIFY THAT THE CLAIMS LISTED ON PAGES NUMBERED FROM 1 THROUGH 3 INCLUSIVE, AND/OR CLAIMS NUMBERED FROM 144203 THROUGH 144315 INCLUSIVE, TOTALING IN THE AMOUNT OF \$422,256.35 HAVE BEEN CHECKED IN DETAIL AND APPROVED BY THE PROPER OFFICIALS, AND IN MY OPINION REPRESENT FAIR AND JUST CHARGES AGAINST THE CITY IN ACCORDANCE WITH THEIR RESPECTIVE AMOUNTS AS INDICATED THEREON.

RESPECTFULLY SUBMITTED,

  
FINANCE DIRECTOR

10/2/13  
DATE

7.a.

Document group: komalley Bank: apbank 05507660

Vendor Code & Name	Check #	Check Date	Amount
0017188 3T EQUIPMENT COMPANY INC.	144204	9/30/2013	734.33
0096852 ABAG PLAN CORPORATION	144205	9/30/2013	61,078.56
0016499 ACTION SPORTS	144206	9/30/2013	2,442.00
0001170 AIRGAS NCN	144207	9/30/2013	24.76
0000163 AIRPORT AUTO PARTS INC.	144208	9/30/2013	40.22
0018976 ALPHA ANALYTICAL LAB. INC.	144209	9/30/2013	1,172.00
0016688 ALPHA TECHNOLOGIES, INC.	144210	9/30/2013	899.25
0104040 AMERICA PRINTING	144211	9/30/2013	129.71
0000082 AMERICAN MESSAGING	144212	9/30/2013	47.77
0099517 ANGELINA TIERNAN	144302	9/30/2013	68.74
0104415 ARNOLD W. GOLDSCHLAGER, M.D.	144213	9/30/2013	530.00
0016123 AT&T	144214	9/30/2013	32.90
0017191 AT&T	144215	9/30/2013	1,242.31
0099488 AVELINA MANALANG	144267	9/30/2013	15.00
0000345 BAKER & TAYLOR BOOKS	144216	9/30/2013	2,373.48
0105373 BAY AREA CLEANING	144217	9/30/2013	425.00
0001849 BAY AREA WATER SUPPLY & CONSERVATION AGEN	144300	9/30/2013	25,000.00
0103924 BEAR DATA SOLUTIONS, INC.	144218	9/30/2013	599.54
0018000 BOUND TREE MEDICAL LLC	144219	9/30/2013	59.52
0000378 BROADMOOR LANDSCAPE SUPPLY	144220	9/30/2013	361.35
0014739 CAL-STEAM	144221	9/30/2013	193.17
0018831 CALIFORNIA MUNICIPAL STATISTICS, INC.	144276	9/30/2013	450.00
0016623 CAROLLO ENGINEERS	144222	9/30/2013	1,454.80
0017284 CHEMSEARCHFE	144224	9/30/2013	386.50
0016324 CINTAS CORPORATION #464	144225	9/30/2013	2,605.25
0105124 CLEANSCAPES SF	144226	9/30/2013	1,897.50
0017802 CLEANSOURCE, INC.	144227	9/30/2013	1,235.44
0098656 COMPLETE LINEN SERVICE	144229	9/30/2013	115.19
0015857 COUNTY OF SAN MATEO	144230	9/30/2013	3,719.08
0018331 CSG CONSULTANTS INC.	144232	9/30/2013	63.00
0018188 DAU PRODUCTS	144233	9/30/2013	975.85
0102820 DEBRA HALL	144249	9/30/2013	289.00
0018092 DISCOVERY COMMUNICATIONS LLC	144234	9/30/2013	1,510.00
0102673 EBI AGGREGATES	144236	9/30/2013	300.19
0099518 ELLEN LEAVITT	144263	9/30/2013	49.28
0093212 ETI SOFTWARE SOLUTIONS	144237	9/30/2013	4,482.00
0018697 EVIDENT	144238	9/30/2013	266.00
0000944 FEDEX	144239	9/30/2013	111.10
0001782 FLOWERS ELECTRIC & SVC.CO.INC.	144240	9/30/2013	234.00
0096236 FOLGER GRAPHICS, INC.	144241	9/30/2013	457.26
0102869 FRANCHISE TAX BOARD	144243	9/30/2013	50.00
0000162 GRAINGER	144245	9/30/2013	2,597.97
0000541 GRANITE ROCK COMPANY	144246	9/30/2013	947.15
0095966 GREATAMERICA FINANCIAL SVCS.	144247	9/30/2013	161.99
0096837 GYM DOCTORS	144248	9/30/2013	400.16
0099569 HENSEL PHELPS CONST. CO.	144252	9/30/2013	6.32
0105790 HORIZON BROTHERS PAINTING	144253	9/30/2013	80,417.50
0105735 HYDROSCIENCE ENGINEERS, INC.	144254	9/30/2013	23,378.98
0099054 INTERSTATE TRS FUND	144255	9/30/2013	538.36
0000581 IRVINE & JACHENS INC.	144256	9/30/2013	52.15
0099556 JASON TONG	144305	9/30/2013	23.00
0097394 JOHN GLANDORF	144244	9/30/2013	41.95
0100912 JOHN RITZENTHALER	144292	9/30/2013	23.25

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Vendor Code & Name	Check #	Check Date	Amount
0000075 K-119 TOOLS OF CALIFORNIA INC.	144257	9/30/2013	94.02
0098406 KAREN CELENTANO	144223	9/30/2013	6.01
0095552 KAREN HARRIS	144251	9/30/2013	8.14
0100797 KATHLEEN RANDALL	144288	9/30/2013	9.13
0000132 KELLY-MOORE PAINT CO INC.	144258	9/30/2013	28.19
0000317 L.N. CURTIS & SONS	144261	9/30/2013	2,227.26
0103049 LAURETTA PRINTING&COPY CENTER	144262	9/30/2013	1,337.63
0095766 LIFE-ASSIST, INC.	144265	9/30/2013	78.65
0017927 MATTHEW BENDER & CO INC.	144269	9/30/2013	589.00
0103479 MCCUNE	144270	9/30/2013	310.00
0102770 METLIFE	144271	9/30/2013	1,205.08
0105816 MICHAEL H. SMITH, PH.D.	144272	9/30/2013	1,000.00
0099398 MING YUK LI	144264	9/30/2013	17.41
0105676 MOBILE MODULAR	144273	9/30/2013	397.85
0103600 MOMENTUM TELECOM, INC.	144274	9/30/2013	21,403.44
0000357 NATIONAL CABLE TV CO-OP, INC.	144277	9/30/2013	85.73
0018764 NATIONAL LEARNING CORP.	144278	9/30/2013	167.77
0099463 NEAL MOREHOUSE	144275	9/30/2013	101.87
0015839 NOR-CAL SIGNS	144279	9/30/2013	196.20
0000522 NORTH COAST COUNTY WATER DISTRICT(NCCWD)	144231	9/30/2013	21,571.18
0105238 NORTHERN SERVICES INC.	144280	9/30/2013	662.50
0092263 OFFICE DEPOT INC	144281	9/30/2013	931.43
0098513 OLGA DUENAS	144235	9/30/2013	6.94
0000012 PACIFIC GAS & ELECTRIC	144282	9/30/2013	2,759.57
0000101 PACIFIC NURSERIES	144283	9/30/2013	250.43
0014961 PENINSULA UNIFORMS & EQUIPMENT	144284	9/30/2013	53.89
0000285 PREFERRED ALLIANCE, INC.	144285	9/30/2013	275.20
0105836 PRIMETIME PAPER & PROMOTIONS	144286	9/30/2013	54.50
0000071 R & B COMPANY	144287	9/30/2013	1,346.49
0017111 RANDOM HOUSE INC	144289	9/30/2013	61.32
0000175 RECOLOGY SAN BRUNO	144290	9/30/2013	40,000.00
0105325 RENE BUSINESS MACHINES	144291	9/30/2013	27.19
0098214 RICHARD STEELE	144299	9/30/2013	17.59
0096458 RMC WATER AND ENVIRONMENT	144293	9/30/2013	9,929.66
0000022 ROBERT LOUIE	144266	9/30/2013	25.35
0017145 SAN MATEO LAWN MOWER SHOP	144294	9/30/2013	141.33
0104726 SHARPS SOLUTIONS, LLC	144296	9/30/2013	96.00
0100275 SHIGEO MATSUKURA	144268	9/30/2013	8.18
0000216 SHOWTIME NETWORKS INC.	144297	9/30/2013	13,652.30
0001225 SIERRA PACIFIC TURF SUPPLY,INC	144298	9/30/2013	286.13
0099563 STEVE KHENAISSER	144259	9/30/2013	26.86
0097391 STEVEN KIM	144260	9/30/2013	39.15
0018670 T-MOBILE USA, INC.	144304	9/30/2013	100.00
0099970 TERESA FOX	144242	9/30/2013	6.19
0000424 THE URBAN FARMER STORE	144301	9/30/2013	10.44
0105031 TMNDRT	144303	9/30/2013	3,125.25
0018500 TURF & INDUSTRIAL	144306	9/30/2013	804.47
0102865 UNIVERSAL SERVICE ADMINISTRATIVE CO.	144295	9/30/2013	6,944.36
0000584 USA MOBILITY WIRELESS INC.	144307	9/30/2013	97.43
0105133 UTILITY TELEPHONE, INC.	144308	9/30/2013	178.66
0017083 VALI COOPER & ASSOCIATES INC	144203	9/24/2013	18,375.00
0018502 VALLEY POWER SYSTEMS, INC.	144309	9/30/2013	168.13
0102988 VANTAGEPOINT TRANSFER AGENTS	144310	9/30/2013	7,554.94
0099528 VICTORIA HALLER	144250	9/30/2013	26.57

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Document group: komalley      Bank: apbank      05507660

<u>Vendor Code &amp; Name</u>	<u>Check #</u>	<u>Check Date</u>	<u>Amount</u>
0102429      VMWARE, INC.	144311	9/30/2013	1,800.00
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0016899      WECO INDUSTRIES LLC	144313	9/30/2013	1,041.17
0104660      WEST YOST ASSOCIATES, INC.	144314	9/30/2013	6,694.54
0100446      YARIV COHEN	144228	9/30/2013	115.00
0104033      ZCORUM, INC.	144315	9/30/2013	22,310.50
		<b>GrandTotal:</b>	<b>422,256.35</b>
		<b>Total count:</b>	<b>113</b>

10/07/13

CITY OF SAN BRUNO  
WARRANT REGISTER  
TOTAL FUND RECAP

FUND	FUND NAME	AMOUNT
001	GENERAL FUND	\$101,356.86
003	ONE-TIME REVENUE	\$5,378.36
132	AGENCY ON AGING	\$5,939.44
133	RESTRICTED DONATIONS	\$2,737.89
190	EMERGENCY DISASTER FUND	\$19,498.37
611	WATER FUND	\$1,443.09
631	WASTEWATER FUND	\$318.78
641	CABLE TV FUND	\$18,416.22
701	CENTRAL GARAGE	\$965.80
702	FACILITY MAINT. FUND	\$5,156.49
707	TECHNOLOGY DEVELOPMENT	\$9,311.97
711	SELF INSURANCE	\$26,070.64
880	PROJECT DEVELOP. TRUST	\$420.00
TOTAL FOR APPROVAL		\$197,013.91

HONORABLE MAYOR AND CITY COUNCIL:

THIS IS TO CERTIFY THAT THE CLAIMS LISTED ON PAGES NUMBERED FROM 1 THROUGH 3 INCLUSIVE, AND/OR CLAIMS NUMBERED FROM 144316 THROUGH 144450 INCLUSIVE, TOTALING IN THE AMOUNT OF \$197,013.91 HAVE BEEN CHECKED IN DETAIL AND APPROVED BY THE PROPER OFFICIALS, AND IN MY OPINION REPRESENT FAIR AND JUST CHARGES AGAINST THE CITY IN ACCORDANCE WITH THEIR RESPECTIVE AMOUNTS AS INDICATED THEREON.

RESPECTFULLY SUBMITTED,

  
\_\_\_\_\_  
FINANCE DIRECTOR

10/9/13  
\_\_\_\_\_  
DATE

Document group: komalley Bank: apbank 05507660

Vendor Code & Name	Check #	Check Date	Amount
0017341 AARONSON DICKERSON, COHN & LANZONE	144352	10/7/2013	3,346.75
0096852 ABAG PLAN CORPORATION	144316	10/7/2013	6,699.40
0017053 ACCOUNTEMPS	144317	10/7/2013	5,616.00
0103202 ADVANCED MOBILE COMMUNICATIONS	144318	10/7/2013	81.75
0100869 AFRICAN AMERICAN PUBLICATIONS	144319	10/7/2013	325.10
0001170 AIRGAS NCN	144320	10/7/2013	133.69
0096332 ALAN MASAMI HIMURO	144374	10/7/2013	650.00
0105841 ALBERTO & MARIA PAREDES	144408	10/7/2013	35.00
0017459 ALL CITY MANAGEMENT SVC.INC.	144321	10/7/2013	2,035.88
0105842 ALLEN LUU	144389	10/7/2013	35.00
0017298 ALLSTAR FIRE EQUIPMENT INC	144322	10/7/2013	4,234.65
0104542 ALTA LANGUAGE SERVICES, INC.	144323	10/7/2013	120.00
0017359 AMERICAN EXPRESS	144324	10/7/2013	3,464.02
0000082 AMERICAN MESSAGING	144325	10/7/2013	19.91
0001202 ARAMARK UNIFORM SERVICES	144326	10/7/2013	18.77
0014617 AT&T	144328	10/7/2013	33.48
0016123 AT&T	144329	10/7/2013	909.23
0000345 BAKER & TAYLOR BOOKS	144331	10/7/2013	1,339.89
0103924 BEAR DATA SOLUTIONS, INC.	144333	10/7/2013	5,792.96
0000378 BROADMOOR LANDSCAPE SUPPLY	144334	10/7/2013	47.74
0102737 BURKE, WILLIAMS & SORENSEN,LLP	144335	10/7/2013	5,378.36
0000580 C & L SPORTING GOODS	144336	10/7/2013	1,713.48
0104049 CAROL COSTAKIS	144347	10/7/2013	179.40
0099221 CHRIS KANG	144382	10/7/2013	285.25
0018639 CI SOLUTIONS	144337	10/7/2013	1,990.00
0016324 CINTAS CORPORATION #464	144338	10/7/2013	183.12
0000060 CITY OF MILLBRAE	144339	10/7/2013	509.60
0013595 CITY OF SAN BRUNO	144340	10/7/2013	814.63
0105124 CLEANSCAPES SF	144341	10/7/2013	4,290.00
0098656 COMPLETE LINEN SERVICE	144343	10/7/2013	120.98
0105187 CONCERN	144344	10/7/2013	673.26
0105847 CONNIE MANDUJANO	144390	10/7/2013	750.00
0102625 CONTEC, LLC	144345	10/7/2013	1,671.86
0018331 CSG CONSULTANTS INC.	144348	10/7/2013	8,075.69
0105848 DEANNA DYOGI	144354	10/7/2013	650.00
0018169 DELL MARKETING L.P.	144350	10/7/2013	53.01
0018673 DENNIS BOSCH	144351	10/7/2013	65.00
0098174 DONNA KNUDSEN	144385	10/7/2013	38.00
0000046 EWING IRRIGATION PRODUCTS INC	144355	10/7/2013	727.06
0018361 FIREHIRE INC.	144357	10/7/2013	1,600.00
0013714 FIRST NATIONAL BANK	144358	10/7/2013	14,564.67
0001782 FLOWERS ELECTRIC & SVC.CO.INC.	144359	10/7/2013	1,375.00
0018117 FLYERS ENERGY, LLC	144360	10/7/2013	10,945.57
0100673 FREDEL WIANT	144449	10/7/2013	46.83
0094023 G & P AUTO SERVICE	144361	10/7/2013	200.00
0018272 GALE GROUP INC.	144362	10/7/2013	30.56
0018842 GBH POLYGRAPH SERVICES	144364	10/7/2013	250.00
0103258 GC MICRO CORPORATION	144365	10/7/2013	3,850.00
0096932 GENESIS EMPLOYEE BENEFITS, INC	144366	10/7/2013	252.00
0016154 GOETZ BROTHERS SPORTING GOODS	144367	10/7/2013	500.96
0016969 GOLDEN IDEAS	144368	10/7/2013	226.00
0017900 GREAT LAKES DATA SYSTEMS INC	144369	10/7/2013	1,850.00
0103959 GUILLERMO & IVANIA QUANT	144417	10/7/2013	25.00

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Vendor Code & Name	Check #	Check Date	Amount
0096837 GYM DOCTORS	144371	10/7/2013	55.00
0099569 HENSEL PHELPS CONST. CO.	144373	10/7/2013	32.73
0096498 HITESMAN & WOLD, P.A.	144375	10/7/2013	45.00
0017882 HOME BOX OFFICE	144376	10/7/2013	1,142.56
0105378 HOME MAID RAVIOLI COMPANY INC.	144377	10/7/2013	261.40
0103336 HUB INTERNATIONAL SERVICE INC.	144378	10/7/2013	322.20
0100115 HUMBERTO & GRISELDA VELASCO	144447	10/7/2013	15.00
0105844 JACINTO BAUTISTA	144332	10/7/2013	15.00
0097056 JANET AYALA	144330	10/7/2013	7.98
0096970 JEANNE GARCIA	144363	10/7/2013	187.04
0105845 JOHN ASKINS	144327	10/7/2013	150.00
0098255 JOYCE STEWART	144431	10/7/2013	63.86
0000771 JT2 INTEGRATED RESOURCES	144380	10/7/2013	14,003.24
0018376 JT2 INTEGRATED RESOURCES	144381	10/7/2013	5,368.00
0099030 JUPER & CHERYLL CORPUZ	144346	10/7/2013	25.00
0095019 KIELTY ARBORIST SERVICES	144383	10/7/2013	1,200.00
0097883 KRISTIN NORRIS	144403	10/7/2013	102.00
0096283 LARRY VALENCIA	144444	10/7/2013	1,300.00
0096825 LAURIE LOO	144387	10/7/2013	1,399.29
0100647 LEESA GREENLEE	144370	10/7/2013	59.00
0104424 LIDIA'S ITALIAN DELICACIES	144386	10/7/2013	1,525.00
0018177 LOWE'S	144388	10/7/2013	126.48
0015875 MANWIN MEDIA SARL	144391	10/7/2013	50.34
0099983 MARC PARON	144409	10/7/2013	29.81
0105849 MATEA TUAUA	144440	10/7/2013	650.00
0104134 MH SOFTWARE, INC.	144393	10/7/2013	99.00
0105837 MICHAEL A. KIMBELL	144384	10/7/2013	195.00
0100192 MICHAEL COLOMBO	144342	10/7/2013	18.00
0100107 MILINDHA MORAHELA	144396	10/7/2013	10.00
0096800 MOBILE CALIBRATION SVCS. LLC	144395	10/7/2013	305.81
0100313 MUHAMED DURAKOVIC	144353	10/7/2013	40.68
0102408 NATIONAL GEOGRAPHIC CHANNEL HD	144399	10/7/2013	59.90
0018319 NEAL MARTIN & ASSOCIATES	144400	10/7/2013	420.00
0018692 NHK COSMOMEDIA AMERICA, INC.	144401	10/7/2013	356.25
0103301 NHL NETWORK US, LP	144402	10/7/2013	1,583.04
0105238 NORTHERN SERVICES INC.	144404	10/7/2013	2,900.00
0092263 OFFICE DEPOT INC	144406	10/7/2013	1,679.25
0100263 OMOWUNMI ISHOLA	144379	10/7/2013	56.00
0000012 PACIFIC GAS & ELECTRIC	144407	10/7/2013	8,809.92
0104599 PATRICK CHIEN HSU YU	144450	10/7/2013	12,500.00
0015163 PENINSULA SPORTS OFFICIALS ASSOC.INC.	144427	10/7/2013	738.00
0018130 PITNEY BOWES INC.	144410	10/7/2013	190.84
0000618 PLANTRONICS INC	144411	10/7/2013	42.51
0018094 PLAYBOY ENTERPRISES, INC.	144412	10/7/2013	3.60
0102915 PRECISE PRINTING & MAILING	144413	10/7/2013	4,060.17
0097558 PURCHASE POWER	144414	10/7/2013	200.00
0018810 Q-STAR TECHNOLOGY	144415	10/7/2013	7,679.55
0018598 QUALITY CODE PUBLISHING LLC	144416	10/7/2013	1,254.69
0098517 RAMESHWAR SINGH	144425	10/7/2013	38.00
0017111 RANDOM HOUSE INC	144418	10/7/2013	36.79
0105614 RAVINDRA & KAMLESH SINGH	144426	10/7/2013	35.00
0100653 RAY MIZRACHI	144394	10/7/2013	19.58
0104548 RENNE SLOAN HOLTZMAN SAKAI LLP	144419	10/7/2013	504.00
0105843 RICHARD & GAIL MOZZINI	144398	10/7/2013	25.00

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Vendor Code & Name	Check #	Check Date	Amount
0103531 RICOH USA, INC.	144420	10/7/2013	2,884.00
0096337 ROBERT DARLING	144349	10/7/2013	600.00
0105839 ROSS INDUSTRIES	144421	10/7/2013	586.85
0092153 SAN BRUNO CHAMBER OF COMMERCE	144422	10/7/2013	350.00
0093465 SAN MATEO COUNTY SHERIFF	144423	10/7/2013	3,483.36
0017145 SAN MATEO LAWN MOWER SHOP	144424	10/7/2013	619.40
0105846 SARAH VALENCIA	144445	10/7/2013	130.00
0105770 SILICON VALLEY COMMUNITY FOUNDATION	144446	10/7/2013	1,451.25
0097079 SPRINT	144428	10/7/2013	427.15
0098846 SSFFD	144429	10/7/2013	55.00
0018602 STARZ ENTERTAINMENT LLC.	144430	10/7/2013	838.77
0096547 SUE MERO	144392	10/7/2013	46.71
0105796 SUNRISE FOOD DISTRIBUTOR INC.	144432	10/7/2013	689.02
0102962 SWANK MOTION PICTURES, INC.	144433	10/7/2013	371.00
0097184 TELEVISION DOMINICANA LLC	144434	10/7/2013	32.45
0018736 THE COPY SHOP	144435	10/7/2013	606.34
0018275 THE REGENTS OF THE UNIVERSITY OF CA	144405	10/7/2013	205.18
0097449 THYSSENKRUPP ELEVATOR CORP.	144436	10/7/2013	378.83
0092974 TOMAS MORALES	144397	10/7/2013	102.00
0000831 TONER CARTRIDGE&INKJET EXPRESS	144437	10/7/2013	2,351.62
0105824 TRIVAD, INC.	144438	10/7/2013	2,735.05
0000665 TSQ SOLUTIONS INC.	144439	10/7/2013	325.00
0001362 TV GUIDE MAGAZINE, LLC	144441	10/7/2013	319.64
0018249 U.S. POSTAL SERVICE	144442	10/7/2013	2,646.69
0000019 U.S. POSTMASTER	144443	10/7/2013	2,300.00
0099528 VICTORIA HALLER	144372	10/7/2013	41.95
0018385 WFCB - OSH COMMERCIAL SERVICES	144448	10/7/2013	1,315.63
0100184 WILLIAM J. FEISTER	144356	10/7/2013	300.00
		<b>GrandTotal:</b>	<b>197,013.91</b>
		<b>Total count:</b>	<b>135</b>

10/14/13

CITY OF SAN BRUNO  
WARRANT REGISTER  
TOTAL FUND RECAP

FUND	FUND NAME	AMOUNT
001	GENERAL FUND	\$93,112.67
003	ONE-TIME REVENUE	\$8,780.00
122	SOLID WASTE/RECYCL.	\$154.20
132	AGENCY ON AGING	\$331.71
133	RESTRICTED DONATIONS	\$994.63
190	EMERGENCY DISASTER FUND	\$15,798.65
201	PARKS AND FACILITIES CAPITAL	\$924.00
203	STREET IMPROVE. PROJECTS	\$12,340.33
611	WATER FUND	\$6,131.09
621	STORMWATER FUND	\$23.06
631	WASTEWATER FUND	\$21,716.52
641	CABLE TV FUND	\$8,461.60
701	CENTRAL GARAGE	\$11.65
702	FACILITY MAINT. FUND	\$2,789.71
707	TECHNOLOGY DEVELOPMENT	\$148.24
880	PROJECT DEVELOP. TRUST	\$1,863.75
TOTAL FOR APPROVAL		\$173,581.81

HONORABLE MAYOR AND CITY COUNCIL:

THIS IS TO CERTIFY THAT THE CLAIMS LISTED ON PAGES NUMBERED FROM 1 THROUGH 2 INCLUSIVE, AND/OR CLAIMS NUMBERED FROM 144451 THROUGH 144550 INCLUSIVE, TOTALING IN THE AMOUNT OF \$173,581.81 HAVE BEEN CHECKED IN DETAIL AND APPROVED BY THE PROPER OFFICIALS, AND IN MY OPINION REPRESENT FAIR AND JUST CHARGES AGAINST THE CITY IN ACCORDANCE WITH THEIR RESPECTIVE AMOUNTS AS INDICATED THEREON.

RESPECTFULLY SUBMITTED,

  
\_\_\_\_\_  
FINANCE DIRECTOR

10/15/13  
DATE

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Vendor Code & Name	Check #	Check Date	Amount
0016499 ACTION SPORTS	144451	10/14/2013	3,533.02
0101004 ADOBE ANIMAL HOSPITAL	144452	10/14/2013	146.23
0001170 AIRGAS NCN	144453	10/14/2013	47.69
0017459 ALL CITY MANAGEMENT SVC.INC.	144454	10/14/2013	2,241.75
0000372 ALLIED SECURITY ALARMS	144455	10/14/2013	951.00
0098508 AMERICAN PUBLIC WORKS ASSOC.	144456	10/14/2013	912.00
0001202 ARAMARK UNIFORM SERVICES	144457	10/14/2013	233.71
0000118 ART'S PENINSULA LOCKSMITH	144458	10/14/2013	20.17
0016123 AT&T	144459	10/14/2013	2,484.65
0000345 BAKER & TAYLOR BOOKS	144460	10/14/2013	2,347.54
0018688 BEST BEST & KRIEGER LLP	144461	10/14/2013	2,485.28
0017361 BOETHING TREELAND FARMS, INC.	144462	10/14/2013	425.10
0000378 BROADMOOR LANDSCAPE SUPPLY	144463	10/14/2013	73.03
0096420 BSN SPORTS	144464	10/14/2013	306.14
0103670 CALIFORNIA BUILDING STANDARDS COMMISSION	144534	10/14/2013	466.00
0001888 CALIFORNIA CABLE & TELECOMMUNICATIONS ASSI	144537	10/14/2013	1,054.46
0016842 CHICAGO TITLE COMPANY	144466	10/14/2013	750.00
0016324 CINTAS CORPORATION #464	144467	10/14/2013	183.12
0096053 CINTAS DOCUMENT MANAGEMENT	144468	10/14/2013	45.00
0098588 CITY OF BURLINGAME	144469	10/14/2013	3,388.50
0000227 CITY OF SAN BRUNO	144470	10/14/2013	472.03
0105124 CLEANSCAPES SF	144471	10/14/2013	742.50
0017802 CLEANSOURCE, INC.	144472	10/14/2013	1,488.65
0098656 COMPLETE LINEN SERVICE	144473	10/14/2013	120.98
0018389 CONTRA COSTA COUNTY SHERIFF'S OFFICE	144476	10/14/2013	834.00
0017011 COPWARE, INC.	144475	10/14/2013	1,105.00
0105811 CSAC EXCESS INSURANCE AUTHORITY	144486	10/14/2013	11,830.16
0018331 CSG CONSULTANTS INC.	144477	10/14/2013	217.00
0000489 DATA FLOW BUSINESS FORMS LLC	144478	10/14/2013	169.86
0018188 DAU PRODUCTS	144479	10/14/2013	687.12
0104141 DC&E	144480	10/14/2013	267.75
0102820 DEBRA HALL	144495	10/14/2013	289.00
0013926 DEPARTMENT OF CONSERVATION	144481	10/14/2013	1,513.30
0093479 DEPARTMENT OF JUSTICE	144482	10/14/2013	834.00
0104678 DIVISION OF THE STATE ARCHITECT	144507	10/14/2013	488.40
0000046 EWING IRRIGATION PRODUCTS INC	144485	10/14/2013	92.84
0013683 F. FERRANDO & CO.	144487	10/14/2013	1,434.00
0001782 FLOWERS ELECTRIC & SVC.CO.INC.	144488	10/14/2013	14,225.45
0102869 FRANCHISE TAX BOARD	144489	10/14/2013	50.00
0018272 GALE GROUP INC.	144490	10/14/2013	34.27
0018155 GEMPLER'S	144491	10/14/2013	221.05
0104771 GILLERAN ENERGY MANAGEMENT SERVICES	144483	10/14/2013	2,793.65
0095666 GLOBAL TELECOM & TECHNOLOGY	144492	10/14/2013	2,088.67
0017983 GLORIA DEETER	144493	10/14/2013	207.91
0017900 GREAT LAKES DATA SYSTEMS INC	144494	10/14/2013	960.54
0017882 HOME BOX OFFICE	144496	10/14/2013	15.00
0105378 HOME MAID RAVIOLI COMPANY INC.	144497	10/14/2013	123.80
0000581 IRVINE & JACHENS INC.	144498	10/14/2013	173.86
0100393 JANEY CHAN	144465	10/14/2013	1,000.00
0000075 K-119 TOOLS OF CALIFORNIA INC.	144499	10/14/2013	283.29
0018050 KAISER FOUNDATION HEALTH PLAN	144500	10/14/2013	3,666.00
0000132 KELLY-MOORE PAINT CO INC.	144501	10/14/2013	154.20
0018177 LOWE'S	144502	10/14/2013	151.84

Document group: komalley Bank: apbank 05507660

Vendor Code & Name	Check #	Check Date	Amount	
0104916	MANDELL MUNICIPAL COUNSELING	144503	10/14/2013	202.50
0100165	MARK GOOCH PAINTING/COSMETIC DESIGN	144513	10/14/2013	8,780.00
0102770	METLIFE	144504	10/14/2013	1,205.08
0016863	MIDWEST TAPE, LLC	144505	10/14/2013	84.98
0099226	NANDA RAI	144519	10/14/2013	1,080.00
0096777	NATALIA VILLEGAS	144547	10/14/2013	83.00
0018319	NEAL MARTIN & ASSOCIATES	144506	10/14/2013	13,005.00
0092263	OFFICE DEPOT INC	144508	10/14/2013	280.15
0097567	ONE HOUR DRY CLEANING	144509	10/14/2013	46.30
0018701	ORKIN INC.	144510	10/14/2013	558.67
0105851	PACIFIC CASCADE CORP.	144511	10/14/2013	206.85
0000101	PACIFIC NURSERIES	144512	10/14/2013	569.53
0096456	PB AMERICAS, INC.	144514	10/14/2013	5,278.33
0016085	PENINSULA CONFLICT RESOLUTION CENTER	144474	10/14/2013	9,100.00
0001154	PENINSULA LIBRARY SYSTEM	144515	10/14/2013	7,008.76
0095148	PENINSULA MUNI.ENGINEERING	144516	10/14/2013	6,552.00
0014961	PENINSULA UNIFORMS & EQUIPMENT	144517	10/14/2013	1,128.44
0013981	QUILL CORPORATION	144518	10/14/2013	77.24
0017111	RANDOM HOUSE INC	144520	10/14/2013	106.29
0105850	RANEY PLANNING&MANAGEMENT INC.	144521	10/14/2013	1,113.75
0096541	RDJ SPECIALTIES INC	144522	10/14/2013	472.67
0090749	RED WING SHOE STORE	144524	10/14/2013	217.99
0000229	REEVES CO., INC.	144525	10/14/2013	27.32
0099751	ROBERT REBRES	144523	10/14/2013	1,000.00
0017145	SAN MATEO LAWN MOWER SHOP	144527	10/14/2013	25.47
0097410	SCREEND PRINTZ	144528	10/14/2013	1,740.23
0100513	SEAN TAN	144535	10/14/2013	1,000.00
0018962	SHOE DEPOT INC.	144530	10/14/2013	147.13
0098030	SHRED-IT USA - SAN FRANCISCO	144531	10/14/2013	39.60
0001225	SIERRA PACIFIC TURF SUPPLY,INC	144532	10/14/2013	50.36
0091419	SOUTH BAY REGIONAL PUBLIC SAFETY TRAINING C	144526	10/14/2013	250.00
0097079	SPRINT	144533	10/14/2013	2,143.36
0018073	TEAMSTERS LOCAL 350	144536	10/14/2013	2,380.00
0002025	TELECOMMUNICATIONS ENGINEERING ASSOCIATE	144484	10/14/2013	500.00
0105406	TENNANT CONSTRUCTION COMPANY	144538	10/14/2013	76.00
0018736	THE COPY SHOP	144539	10/14/2013	437.00
0000036	THOMSON WEST	144540	10/14/2013	244.16
0017134	TRINET CONSTRUCTION INC.	144542	10/14/2013	9,786.53
0018500	TURF & INDUSTRIAL	144543	10/14/2013	110.54
0000783	UNION BANK OF CALIFORNIA N.A.	144544	10/14/2013	3,500.00
0102988	VANTAGEPOINT TRANSFER AGENTS	144545	10/14/2013	7,782.31
0095749	VERIZON WIRELESS	144546	10/14/2013	1,337.64
0104660	WEST YOST ASSOCIATES, INC.	144548	10/14/2013	10,679.36
0098685	WILLIAM & PATRICIA TOOMEY	144541	10/14/2013	540.00
0013841	WITMER-TYSON IMPORTS INC	144549	10/14/2013	500.00
0014850	XEROX CORPORATION	144550	10/14/2013	296.76
0098483	YONGCHANG SHI	144529	10/14/2013	1,000.00
			<b>GrandTotal:</b>	<b>173,581.81</b>
			<b>Total count:</b>	<b>100</b>



**City Council Agenda Item  
Staff Report**

CITY OF SAN BRUNO

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DATE: October 22, 2013  
TO: Honorable Mayor and Members of the City Council  
FROM: Kim Juran, Finance Director  
SUBJECT: Payroll Approval

City Council approval of the City payroll distributed October 11, 2013 is recommended. The Labor Summary report reflecting the total payroll amount of \$1,241,861.79 for the bi-weekly pay period ending October 6, 2013 is attached.

**LABOR SUMMARY FOR PAY PERIOD ENDING : October 6, 2013**

<b>pyLaborDist</b>	<b>10/11/13</b>
Fund: 001 - GENERAL FUND	922,099.58
Fund: 122 - SOLID WASTE/RECYCL.	1,444.04
Fund: 153 -RDA OBLIGATION RETIREMENT FUND	6,032.26
Fund: 190 - EMERGENCY DISASTER FUND	15,561.53
Fund: 201 - PARKS AND FACILITIES CAPITAL	2,590.76
Fund: 207 - TECHNOLOGY CAPITAL	5,522.58
Fund: 203 - STREET IMPROVE. PROJECTS	173.52
Fund: 611 - WATER FUND	73,802.63
Fund: 621 - STORMWATER FUND	11,832.80
Fund: 631 - WASTEWATER FUND	66,646.04
Fund: 641 - CABLE TV FUND	84,659.82
Fund: 701 - CENTRAL GARAGE	9,636.38
Fund: 702 - FACILITY MAINT.FUND	22,089.65
Fund: 707 - TECHNOLOGY DEVELOPMENT	13,315.72
Fund: 711 - SELF INSURANCE	6,454.48
	<hr/>
<b>Total</b>	<b>1,241,861.79</b>



John E. Marty  
City Treasurer

CITY OF SAN BRUNO  
CITY TREASURER

## INVESTMENT REPORT

### Month ending September 2013

INVESTMENTS				YIELD
INVESTMENT POOLS				
Local Agency Investment Fund	14,249,291.80			0.270
Glenview Fire LAIF	3,031,508.66			0.270
San Mateo County Pool	16,834,968.39			0.700
INVESTMENTS HELD AT UNION BANK				
	PAR VALUE	COST BASIS	MKT. VALUE	YIELD
Federal home Loan Mtg 0.375 mat 10/30/13	\$ 2,000,000.00	\$ 2,003,356.08	\$ ,000,460.00	0.370
Federal Farm Credit Bank 0.20% mat 12/3/13	\$ 1,000,000.00	\$ ,000,000.00	\$ ,000,210.00	0.200
Federal Farm Credit Bank 0.20% mat 2/26/14	\$ 1,000,000.00	\$ 1,000,000.00	\$ ,000,480.00	0.200
Federal Farm Credit Bank 0.25% mat 4/4/14	\$ 1,000,000.00	\$ 1,000,399.00	\$ ,000,800.00	0.250
Federal Home Loan Bank 1.42 mat 5/30/14	\$ 1,000,000.00	\$ 1,000,000.00	\$ 1,008,560.00	1.410
Federal Home Loan Mtg 0.50% mat 9/11/15	\$ 1,000,000.00	1,000,000.00	\$ 1,000,600.00	0.500
Federal Farm Credit Bank 0.50% mat 11/5/15	\$ 1,000,000.00	\$ 1,000,000.00	\$ 1,000,370.00	0.500
Federal National Mtg 0.70% mat 3/4/16	\$ 1,000,000.00	\$1,000,000.00	\$1,000,650.00	0.700
Federal Home Loan Mtg Corp 0.57% 6/20/2016	\$ 1,000,000.00	1,000,000.00	\$ 996,970.00	0.570

*J.C.*

Federal Home Loan Mtg 1.00% 7/29/16	\$ 1,000,000.00	\$ 1,000,000.00	\$ 1,000,600.00	1.000
Federal Natl Mtg Assoc 1.00% 7/29/16	\$ 1,000,000.00	\$ 1,000,000.00	\$ 1,001,900.00	1.000
Federal National Mortgage Assoc 0.50% 8/15/16	\$ 1,000,000.00	\$ 1,000,000.00	\$ 993,510.00	0.51
Federal National Mtg Assn 0.75% 12/19/16	\$ 1,000,000.00	\$ 1,000,000.00	\$ 995,440.00	0.750
Federal Natl Mtg Assoc 1.15% 1/25/17	\$ 1,000,000.00	\$ 1,000,000.00	\$ 1,004,690.00	1.140
Federal Natl Mtg Assoc 0.70% 12/26/17	\$ 2,000,000.00	\$ 2,000,000.00	\$ 1,972,920.00	0.710
Federal Home Loan Bank 1.00% mat 12/27/17	\$ 1,000,000.00	\$ 1,000,000.0	\$ 982,030.00	1.020
US Govt Money Market	\$ 103,336.08	\$ 103,336.08	103,336.08	0.010
<b>INVESTMENTS HELD AT WELLS FARGO BANK</b>				
City of San Bruno as Temporary Custodian	68,820,679.12			0.132
<b>TOTAL</b>	<b>\$121,039,784.05</b>			



CITY OF SAN BRUNO

John E. Marty  
City Treasurer

CITY TREASURER

## RECONCILIATION OF GENERAL LEDGER TO BANK

MONTH ENDING SEPTEMBER 2013

### City of San Bruno Cash

### City of San Bruno General Ledger

Investment Balance	\$ 49,191,351.35
Glenview Fire LAIF	3,031,508.66
Checking	1,900,348.90
Police Checking	1,850.19
Glenview Fire Recovery	4,751.21
Glenview Counseling Assist	12,716.00
Successor Agency of SB	
RDA	374,228.03
Successor Housing Agency	1.00
City of SB as Custodian - WFB	68,820,679.12

**Bank Balances as of 8/31/13** 123,337,434.46

**General Ledger Balance** \$122,267,860.96

Outstanding checks (\$ 1,308,827.46)

FNB Deposit Transit	10,385.87
FNB Deposit Transit	21,216.04
FNB Deposit Transit	42,359.58
FNB Deposit Transit	108,631.09
Finance CC	1,017.15
CATV Merchant Bankcard	
CC	7,324.85
Utility Billpay - Online	26,323.58
Utility Billpay - Online	22,962.45

CATV Checkfree Deposit	834.27
(Library CC)	132.38

**Adjusted Balance** \$ 122,268,827.61

**Adjusted Balance** \$122,268,827.61

**Expenditure Status Report**  
 City of San Bruno  
 9/1/2013 through 9/30/2013

Account Number	Adjusted Appropriation	Expenditures	Year-to-date Expenditures	Year-to-date Encumbrances	Balance	Prct Used
Total GENERAL FUND	35,054,680.57	2,567,658.11	7,944,082.07	192,299.35	26,918,299.15	23.21
Total GENERAL FUND RESERVE	0.00	0.00	0.00	0.00	0.00	0.00
Total ONE-TIME REVENUE	0.00	0.00	3,041.58	0.00	-3,041.58	0.00
Total GAS TAX	750,000.00	62,500.00	187,500.00	0.00	562,500.00	25.00
Total MEASURE A TRANSPORTATION TAX	0.00	0.00	0.00	0.00	0.00	0.00
Total POLICE ASSET FORFEITURE	10,000.00	11,028.91	11,028.91	0.00	-1,028.91	110.29
Total SAFETY AUGMENT. -PROP.172	86,000.00	0.00	0.00	0.00	86,000.00	0.00
Total POLICE SPECIAL REVENUE	100,000.00	0.00	0.00	0.00	100,000.00	0.00
Total TRAFFIC SAFETY GRANT	0.00	0.00	0.00	0.00	0.00	0.00
Total FEDERAL/STATE GRANTS	720.07	0.00	0.00	720.07	0.00	100.00
Total SOLID WASTE/RECYCL.	65,593.00	3,124.40	10,465.03	0.00	55,127.97	15.95
Total LIBRARY SPECIAL REVENUE	39,000.00	3,250.00	9,750.00	0.00	29,250.00	25.00
Total IN-LIEU FEES	58,500.00	0.00	0.00	0.00	58,500.00	0.00
Total AGENCY ON AGING	203,761.00	10,380.88	21,167.12	0.00	182,593.88	10.39
Total RESTRICTED DONATIONS	102,473.00	3,154.44	7,584.93	0.00	94,888.07	7.40
Total ED JOHNSON BEQUEST FUND	0.00	0.00	0.00	0.00	0.00	0.00
Total GLENVIEW FIRE DONATIONS	0.00	0.00	0.00	0.00	0.00	0.00
Total PGE	0.00	0.00	0.00	0.00	0.00	0.00
Total SUCCESSOR AGENCY TO THE SB RDA - OPS	0.00	0.00	0.00	0.00	0.00	0.00
Total CITY OF SB AS SUCCESSOR HOUSING AGENCY	0.00	0.00	0.00	0.00	0.00	0.00
Total RDA OBLIGATION RETIREMENT FUND	511,357.00	13,109.55	37,480.44	0.00	473,876.56	7.33
Total EMERGENCY DISASTER FUND	11,343,346.25	107,687.21	209,567.01	8,346,598.27	2,787,180.97	75.43
Total PARKS AND FACILITIES CAPITAL	68,248.76	95,258.12	110,862.17	85,260.34	-127,873.75	287.36
Total STREET IMPROVE. PROJECTS	102,733.07	49,818.51	74,085.16	116,876.56	-88,228.65	185.88
Total TECHNOLOGY CAPITAL	13,909.00	1,464.78	4,144.22	23,035.07	-13,270.29	195.41
Total SUCCESSOR AGENCY TO THE SB RDA - CAPITAL	0.00	0.00	0.00	0.00	0.00	0.00
Total LEASE DEBT SERVICE	1,604,381.00	0.00	231,676.74	0.00	1,372,704.26	14.44
Total SUCCESSOR AGENCY TO THE SB RDA -2000 COP	0.00	0.00	0.00	0.00	0.00	0.00

**Expenditure Status Report**

City of San Bruno  
 9/1/2013 through 9/30/2013

<i>Account Number</i>	<i>Adjusted Appropriation</i>	<i>Expenditures</i>	<i>Year-to-date Expenditures</i>	<i>Year-to-date Encumbrances</i>	<i>Balance</i>	<i>Prct Used</i>
Total WATER FUND	8,513,512.83	420,910.52	1,645,734.99	2,957,745.49	3,910,032.35	54.07
Total STORMWATER FUND	663,342.95	42,102.95	125,992.88	71,499.45	465,850.62	29.77
Total WASTEWATER FUND	8,885,489.71	324,054.78	1,816,688.48	955,759.18	6,113,042.05	31.20
Total CABLE TV FUND	9,904,533.00	548,313.97	1,923,284.73	2,761,717.60	5,219,530.67	47.30
Total CENTRAL GARAGE	614,865.00	38,412.97	110,993.95	8,449.00	495,422.05	19.43
Total FACILITY MAINT.FUND	867,962.00	74,646.95	212,567.49	0.00	655,394.51	24.49
Total GENERAL EQUIPMENT REVOLVING	6,278.10	762.41	1,329.00	678.10	4,271.00	31.97
Total TECHNOLOGY DEVELOPMENT	532,022.00	34,003.99	154,771.49	0.00	377,250.51	29.09
Total SELF INSURANCE	1,809,515.00	109,606.95	1,080,437.26	3,900.00	725,177.74	59.92
<b>Grand Total</b>	81,912,223.31	4,521,250.40	15,934,235.65	15,524,538.48	50,453,449.18	38.41

10/16/2013 4:49:12PM

City of San Bruno

Through period: 3

Through September 2013

	Cash	Investments	Fund Total
001 GENERAL FUND	5,204,228.31	53,676.51	5,257,904.82
002 GENERAL FUND RESERVE	2,908,916.11	0.00	2,908,916.11
003 ONE-TIME REVENUE	5,050,660.76	0.00	5,050,660.76
101 GAS TAX	849,098.15	0.00	849,098.15
102 MEASURE A TRANSPORTATION TAX	1,396,984.11	0.00	1,396,984.11
103 STREET SPECIAL REVENUE	308,267.09	0.00	308,267.09
104 TRAFFIC CONGESTION RELIEF	0.00	0.00	0.00
111 POLICE ASSET FORFEITURE	52,825.41	0.00	52,825.41
112 SAFETY AUGMENT. -PROP.172	58,319.27	0.00	58,319.27
113 POLICE SPECIAL REVENUE	27,935.28	0.00	27,935.28
114 TRAFFIC SAFETY GRANT	61,299.46	0.00	61,299.46
121 FEDERAL/STATE GRANTS	23,811.91 CR	0.00	23,811.91 CR
122 SOLID WASTE/RECYCL.	206,159.15	0.00	206,159.15
123 LIBRARY SPECIAL REVENUE	267,829.24	0.00	267,829.24
131 IN-LIEU FEES	4,182,778.02	0.00	4,182,778.02
132 AGENCY ON AGING	2,469.17 CR	0.00	2,469.17 CR
133 RESTRICTED DONATIONS	1,081,562.50	0.00	1,081,562.50
134 ED JOHNSON BEQUEST FUND	25,790.05	0.00	25,790.05
135 GLENVIEW FIRE DONATIONS	0.00	0.00	0.00
136 PGE	3,031,508.66	0.00	3,031,508.66
151 SUCCESSOR AGENCY TO THE SB RDA - OPS	0.00	0.00	0.00
152 CITY OF SB AS SUCCESSOR HOUSING AGENCY	0.00	0.00	0.00
153 RDA OBLIGATION RETIREMENT FUND	664,238.73	649,979.57	1,314,218.30
190 EMERGENCY DISASTER FUND	285,798.30	0.00	285,798.30
201 PARKS AND FACILITIES CAPITAL	400,706.27	0.00	400,706.27
203 STREET IMPROVE. PROJECTS	2,284,096.68	0.00	2,284,096.68
207 TECHNOLOGY CAPITAL	33,871.65	0.00	33,871.65
251 SUCCESSOR AGENCY TO THE SB RDA - CAPITAL	0.00	0.00	0.00
302 LEASE DEBT SERVICE	101,731.13	193,166.27	294,897.40
351 SUCCESSOR AGENCY TO THE SB RDA -2000 COP	0.00	0.00	0.00
611 WATER FUND	13,318,503.30	0.00	13,318,503.30
621 STORMWATER FUND	626,454.76	0.00	626,454.76
631 WASTEWATER FUND	7,082,416.49	629,723.87	7,712,140.36
641 CABLE TV FUND	3,690,807.54 CR	200.00	3,690,607.54 CR
701 CENTRAL GARAGE	523,456.05	0.00	523,456.05
702 FACILITY MAINT.FUND	958,294.23	0.00	958,294.23
703 GENERAL EQUIPMENT REVOLVING	3,729,312.01	0.00	3,729,312.01
707 TECHNOLOGY DEVELOPMENT	320,420.47	0.00	320,420.47
711 SELF INSURANCE	1,757,664.43	91,118.50	1,848,782.93
870 SAN BRUNO COMMUNITY RESTITUTION FUND	68,820,679.12	0.00	68,820,679.12
880 PROJECT DEVELOP. TRUST	114,802.49	0.00	114,802.49
891 S.B. GARBAGE CO. TRUST	248,341.90	0.00	248,341.90
<b>Grand Total:</b>	<b>122,267,860.96</b>	<b>1,617,864.72</b>	<b>123,885,725.68</b>

Revenue Status Report

City of San Bruno  
9/1/2013 through 9/30/2013

Account Number	Adjusted Estimate	Revenues	Year-to-date Revenues	Balance	Prct Rcvd
Total GENERAL FUND	34,947,173.00	1,758,239.21	6,070,115.87	28,877,057.13	17.37
Total GENERAL FUND RESERVE	0.00	0.00	0.00	0.00	0.00
Total ONE-TIME REVENUE	1,067,500.00	0.00	162,681.86	904,818.14	15.24
Total GAS TAX	1,295,948.00	0.00	206,402.89	1,089,545.11	15.93
Total MEASURE A TRANSPORTATION TAX	838,861.00	73,616.21	224,661.55	614,199.45	26.78
Total STREET SPECIAL REVENUE	805.00	0.00	0.00	805.00	0.00
Total POLICE ASSET FORFEITURE	5,254.00	0.00	165.66	5,088.34	3.15
Total SAFETY AUGMENT. -PROP.172	92,300.00	7,833.18	27,116.52	65,183.48	29.38
Total POLICE SPECIAL REVENUE	100,056.00	7,069.20	7,069.20	92,986.80	7.07
Total TRAFFIC SAFETY GRANT	284.00	0.00	238.00	46.00	83.80
Total FEDERAL/STATE GRANTS	0.00	0.00	0.00	0.00	0.00
Total SOLID WASTE/RECYCL.	82,110.00	4,800.67	17,113.61	64,996.39	20.84
Total LIBRARY SPECIAL REVENUE	3,474.00	0.00	4,941.03	-1,467.03	142.23

**Revenue Status Report**

City of San Bruno  
 9/1/2013 through 9/30/2013

<u>Account Number</u>	<u>Adjusted Estimate</u>	<u>Revenues</u>	<u>Year-to-date Revenues</u>	<u>Balance</u>	<u>Prc't Rcvd</u>
Total IN-LIEU FEES	539,631.00	518,000.04	545,163.45	-5,532.45	101.03
Total AGENCY ON AGING	203,761.00	6,447.82	17,907.02	185,853.98	8.79
Total RESTRICTED DONATIONS	137,208.00	27,146.51	51,153.47	86,054.53	37.28
Total ED JOHNSON BEQUEST FUND	210.00	0.00	278.87	-68.87	132.80
Total GLENVIEW FIRE DONATIONS	0.00	0.00	0.00	0.00	0.00
Total PGE	0.00	0.00	0.00	0.00	0.00
Total SUCCESSOR AGENCY TO THE SB RDA - OPS	0.00	0.00	0.00	0.00	0.00
Total CITY OF SB AS SUCCESSOR HOUSING AGENCY	0.00	0.00	0.00	0.00	0.00
Total RDA OBLIGATION RETIREMENT FUND	125,000.00	0.00	4.59	124,995.41	0.00
Total EMERGENCY DISASTER FUND	0.00	0.00	0.00	0.00	0.00
Total PARKS AND FACILITIES CAPITAL	5,229.00	0.00	8,538.01	-3,309.01	163.28
Total STREET IMPROVE. PROJECTS	2,948.00	0.00	0.00	2,948.00	0.00

**Revenue Status Report**

City of San Bruno  
 9/1/2013 through 9/30/2013

Account Number	Adjusted Estimate	Revenues	Year-to-date Revenues	Balance	Prct Rcvd
Total TECHNOLOGY CAPITAL	2,511.00	0.00	4,455.21	-1,944.21	177.43
Total SUCCESSOR AGENCY TO THE SB RDA - CAPITAL	0.00	0.00	0.00	0.00	0.00
Total LEASE DEBT SERVICE	1,604,381.00	98,294.00	333,379.99	1,271,001.01	20.78
Total SUCCESSOR AGENCY TO THE SB RDA-2000 COP	0.00	0.00	0.00	0.00	0.00
Total WATER FUND	12,236,641.00	1,381,054.83	2,738,792.20	9,497,848.80	22.38
Total STORMWATER FUND	632,089.00	0.00	21,938.98	610,150.02	3.47
Total WASTEWATER FUND	13,258,688.00	1,267,670.84	2,481,656.79	10,777,031.21	18.72
Total CABLE TV FUND	10,598,474.00	789,512.23	2,321,834.81	8,276,639.19	21.91
Total CENTRAL GARAGE	614,773.00	51,231.00	153,693.00	461,080.00	25.00
Total FACILITY MAINT.FUND	866,971.00	72,248.00	216,744.00	650,227.00	25.00
Total GENERAL EQUIPMENT REVOLVING	430,587.00	37,685.00	109,449.00	321,138.00	25.42
Total TECHNOLOGY DEVELOPMENT	520,773.00	43,398.00	130,194.00	390,579.00	25.00
Total SELF INSURANCE	1,805,615.00	150,468.00	451,404.00	1,354,211.00	25.00

Revenue Status Report

City of San Bruno  
9/1/2013 through 9/30/2013

<u>Account Number</u>	<u>Adjusted Estimate</u>	<u>Revenues</u>	<u>Year-to-date Revenues</u>	<u>Balance</u>	<u>Prct Rcvd</u>
Grand Total	82,019,255.00	6,294,714.74	16,307,093.58	65,712,161.42	19.88



## City Council Agenda Item Staff Report

CITY OF SAN BRUNO

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**DATE:** October 22, 2013

**TO:** Honorable Mayor and Members of the City Council

**FROM:** Steve Firpo, CATV Business Manager

**SUBJECT:** Adopt Resolution Approving Out of State Travel for Cable Department Staff to Attend Cable Television Industry Conferences in FY 2013-14

### **BACKGROUND:**

As the operator of an independent cable system, Cable Department staff members are required to maintain a current understanding of industry trends and practices as well as information on new cable industry products and services. Staff also uses information from trade magazines and periodicals as one way to obtain this critical awareness. Attending these industry conferences is an important opportunity to gain first-hand product knowledge, insights into planning and design and resource sourcing for the execution and successful implementation of the Cable Department's work program. Seminars also serve as valuable training opportunities that also offer projections of future products and services in the industry. In addition, these conferences provide staff with professional development and networking opportunities.

The FY 2013-14 Cable Department budget includes funding for Cable staff to attend cable television industry conferences during the year. This year a staff member attended the National Cable Television Cooperative (NCTC) Cable Show conference in San Diego, California. Staff is considering attending the National Cable Television Association (NCTA) Cable Show in Los Angeles. There is also one out of state conference staff may attend which needs approval for out of state travel.

- National Cable Television Cooperative – Independent Operators Winter Educational Conference (NCTC - WEC) in Tampa FL (February 2014)

### **DISCUSSION:**

These annually held industry conferences cover a variety of topics affecting the cable industry, including new technology, competition and regulations. Industry leaders and key executives participate on discussion panels and share information about the changes and experiences their companies are undergoing or how new services impacts their businesses.

The NCTC Cable Shows are conferences of the Co-op members where information about new technology, new legislative and regulatory developments impacting small independent operators, and best practices are discussed. Co-op members collaborate, network and share information with each other in paneled sessions during the conference. Companies attending this conference are limited to member companies, such as small to mid-sized cable operators, municipalities, and several larger operators such as Astound.

7.d.

At the NCTA Cable Show, executives from major cable companies such as Comcast, Time Warner, Charter, Cablevision and Cox share their best practices and forecast future products and industry trends. The various cable networks and equipment vendors also roll out new products and services at these conferences.

At this time, specific highlighted topics are not identified for either conference yet, but program highlights will be provided to Council when available.

City Council approval is required for staff attendance at out of state conferences.

**FISCAL IMPACT:**

The early registration fee for these shows vary from \$450 - \$800 per attendee. This fiscal year the plan is only to send one staff member from the department to each conference to attend meetings, meet with programmers and look at hardware options. Staff conscientiously manages the costs of attending these conferences, which have not exceeded budgeted amounts. Funding of \$6,000 is available in the FY 2013-14 Budget to cover the cost of conferences. The department has spent just under \$1,100 for the conference already attended.

**ALTERNATIVES:**

1. Direct staff not to attend an out of state particular conference.
2. Direct staff not to attend any out of state conference.
3. Direct staff to attend other conferences.

**RECOMMENDATION:**

Adopt Resolution Approving Out of State Travel for Cable Department Staff to Attend Cable Television Industry Conferences in FY 2013-14

**DISTRIBUTION:**

None.

**ATTACHMENTS:**

1. Resolution

**DATE PREPARED:**

September 25, 2013

**REVIEWED BY:**

\_\_\_\_\_ CM

\_\_\_\_\_ FD, Other

**RESOLUTION NO. 2013-\_\_\_\_\_**

**RESOLUTION APPROVING OUT OF STATE TRAVEL FOR CABLE  
DEPARTMENT STAFF TO ATTEND CABLE TELEVISION INDUSTRY  
CONFERENCES IN FY 2013-14**

**WHEREAS**, the City owns a Cable Television system operated by City of San Bruno Staff.

**WHEREAS**, staff maintains a current understanding of industry trends and practices with its membership in various cable organizations; and

**WHEREAS**, staff continually seeks to stay informed of new Cable TV products, services and revenue streams via periodicals and magazines; and

**WHEREAS**, staff maintains relationships with programmers and hardware developers by networking at industry conferences; and

**WHEREAS**, attendance at these conferences gives staff first-hand knowledge of new products, trends, new technologies and services for Cable TV operators

**NOW THEREFORE, BE IT RESOLVED** that City Council of the City of San Bruno Adopts A Resolution Approving Out of State Travel for Cable Department Staff to Attend Cable Television Industry Conferences in FY 2013-14

--oOo--

I hereby certify that foregoing Resolution No. 2013-\_\_\_\_\_ was introduced and adopted by the San Bruno City Council at a regular meeting on October 22, 2013 by the following vote:

AYES:

NOES:

ABSENT:

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Carol Bonner, City Clerk

**Carol Bonner**

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**Subject:** FW: Google Alert - San Bruno Chamber of Commerce

**From:** Nawied Amin  
**To:** Riechel Nawied Amin  
**Sent:** Thursday, October 10, 2013 3:40 PM  
**Subject:** Re: Google Alert - San Bruno Chamber of Commerce

Hi Robert,

Due to a business relationship requiring more of my time than expected and causing a shift in my schedule, I am resigning effective immediately from the San Bruno Crime Prevention Committee.

Thank you for your leadership as chair and for welcoming me into the Crime Prevention Committee. I wish everybody in the committee the best of luck in meeting and surpassing the goals and initiatives for the upcoming year.

Sincerely,

Nawied Amin



## City Council Agenda Item Staff Report

CITY OF SAN BRUNO

**DATE:** October 22, 2013

**TO:** Honorable Mayor and Members of the City Council

**FROM:** Klara A. Fabry, Public Services Director

**SUBJECT:** Receive Report on the Well 15 Replacement Project and Authorize Design of Proposed Test Well at the Acappella Site and an Optional Test Well at the Commodore Park Site

### **BACKGROUND:**

The City currently receives water from three supply sources: the San Francisco Public Utilities Commission (SFPUC), the North Coast County Water District (NCCWD), and local groundwater through five production wells. Well 15, located at Commodore Park, has been out of service since 2010 and is a significant source of City's water production. It is anticipated that Well 15 will provide approximately one quarter of City's total groundwater production. The City adopted the Urban Water Management Plan (UWMP) on June 28, 2011 and established a goal to maintain a balance between City water production and purchased water from the San Francisco Public Utilities Commission (SFPUC) to increase reliability, redundancy and flexibility of service. The City is also negotiating an inter-agency agreement for the Regional Groundwater Storage and Recovery Project with the San Francisco Public Utilities Commission (SFPUC), which would require that the City maintain a minimum of 2.1 million gallons per day (mgd) well production during dry years.

In accordance with the 2011 UWMP, the City's total water supply is projected at 5.4 mgd with 3.25 mgd purchased through SFPUC and 2.1 mgd produced through groundwater wells (a small amount 0.05 mgd is also purchased from the North Coast County Water District). Over the past four years, SFPUC has more than doubled its water rates and their rates are projected to increase also over the next four years. These escalating costs are passed through to San Bruno water customers and further emphasize the need for the City to maintain its water production and place Well 15 back in operation.

### **DISCUSSION:**

On September 21, 2010, the City retained the firm of RMC to perform the site analysis and the selection criteria for the relocation of Well 15. The following six potential well sites were evaluated and ranked according to weighted criteria:

#### Potential well sites:

1. Commodore Park
2. Archstone Apartments
3. Cable Building Parking Lot
4. Former Wells Fargo Site
5. Capuchino High School
6. City Park

10.a.

Selection criteria:

- Depth to Bedrock (weighing factor of 2)
- Groundwater Elevation (weighing factor of 2)
- Subsurface Material (weighing factor of 2)
- Distance to Other Wells (weighing factor of 2)
- Manganese Concentration (weighing factor of 1)
- Contaminated Sites (weighing factor of 1)
- Seawater Intrusion (weighing factor of 1)

At the level of analysis performed, the sites were all potentially suitable for a well with the exception of Capuchino, which requires more analysis due to the nearby-contaminated site. Two sites: Commodore Park and Archstone Apartments were found to be best suitable for a new well. Commodore Park site was selected for the following reasons:

- Located over a deeper portion of the Westside Basin which improves the likelihood of high well yield/production rate;
- Farther away from existing City wells resulting in less interference from other wells;
- No additional impact on the surrounding environment;
- Located in Pressure Zone 3/4/5, which allows for additional operational flexibility due to being able to provide the additional supply to any of these three zones without additional infrastructure (i.e. piping or pumps); and,
- No additional land use impact since this was the site of the existing well. The replacement well will be constructed adjacent to the existing well.

On December 11, 2012, the City Council authorized a contract with Erler & Kalinowski, Inc. (EKI) for engineering services for the Well 15 Replacement Project in an amount not-to-exceed \$606,000. The original intention was to install two test wells, one at the Acappella Site and the other at the Commodore Park Site. A final production well would be installed at the site that would potentially provide higher yield and water quality based on the test well results.

During the initial design phase of the project, it was determined that a test well and/or production well at the Commodore Park Site would significantly encroach upon the area that is currently used as a dog park. The dog park is located on the east side of the Commodore Park near the existing Well 15 building and is a popular area frequented by dog owners. Community Services Department provided the following guidelines for implementation of the Well 15 Replacement Project at Commodore Park.

- There should be no net reduction in square footage of the dog park after construction of the new well.
- A path connecting the east and west sides of the park must be preserved.
- No removal of any redwood trees within the park.

It was estimated that approximately 50% of the existing dog park would be encroached upon during construction. Maintaining the existing square footage area of the dog park would require minor reconfiguration of the park layout which would be incorporated into the project. The potential impacts of the Well 15 Replacement Project at the Commodore Park are shown in Attachment 1 for two possible layouts of the well building.

The Acappella Site is approximately 700 feet northeast of Well 15 and approximately 1,500 feet west of Well 16 (Forest Lane). Well 16 is located at a deeper aquifer with a higher production capacity than Well 15. However, groundwater from Well 16 has higher manganese levels than Well 15. It is anticipated that manganese treatment would be required at the Acappella Site. Historically, groundwater from Well 15 at the Commodore Site contained variable concentrations below the limits requiring treatment. Based on this information, EKI prepared an evaluation to compare the overall costs of a production well at the Acappella Site versus the Commodore Park Site over the lifecycle of the well of 30 years (Attachment 2) using the following assumptions:

- A production well at the Acappella Site will produce 500 gallons per minute (gpm) and requires manganese treatment.
- A production well at the Commodore Park Site will produce 400 gpm and no manganese treatment is required.
- The production wells would be operated at their full capacities. The assumptions used in the evaluation is that a production well at the Acapella Site would produce 500 gpm due to the deeper aquifer and manganese treatment would be required.

The objective of the evaluation was to determine if there were any obvious economic advantages of one site over the other. The estimated total 30-year lifecycle costs for a new well at the Acappella Site was \$8 million, which included capital costs for the production well and annual operation and maintenance (O&M) costs. The estimated 30-year lifecycle costs for the Commodore Park Site was \$6.8 mil of capital and O&M costs plus an additional \$2.8 million for the purchase of 100 gpm of water from SFPUC for a total of \$9.6 million. Therefore EKI's analysis of the two hypothetical alternatives indicated that the Acappella Site would have lower lifecycle costs of \$1.6 mil over a 30-year period. If a test well is constructed at the Acappella Site and the results are favorable, the City could potentially avoid the need for a second test and a savings of \$75,000- \$100,000. In addition, the City would avoid any disruption to the dog park at the Commodore Park. However, some disruption to residents at the Acappella/Archstone Apartments would be experienced on an intermittent basis during construction for the test well (four months) and production well (one year) due to proximity to the complex.

	<b>Acappella Site</b>	<b>Commodore Park</b>
<b>Advantages</b>	Higher Water Production	No manganese treatment
<b>Disadvantages</b>	Construction impacts to residential area	Construction impacts to dog park
<b>Summary</b>	Lower life cycle cost for production well at Acapella Site	

The difference in design effort for one test well versus two test wells is approximately \$2,500, which is minimal compared to the overall costs of the Well 15 Replacement Project. If the City were to complete the design for two test wells and award the construction contract with one test well as the base bid and the second test well as an optional bid item, the City could reduce the overall schedule of the project by approximately 3 months.

Staff's recommendation is to proceed with design and award a construction contract to install two test wells, one at the Acappella Site and the other at the Commodore Park Site. The test well at the Acappella Site would be the base bid and the test well at Commodore Park Site

would be awarded as an optional bid item to be exercised only if test results from the Acappella Site are not favorable.

EKI, in consultation with City staff, will prepare the necessary California Environmental Quality Act (CEQA) documentation for the test well sites. Once the new well site is selected and the design of the wellhead has been completed, EKI will prepare the appropriate environmental review document for recordation under the CEQA guidelines before construction of the final production well and related facilities. Of the two sites, replacement of the well at the existing location at Commodore Park may be exempt from CEQA. However, this exemption does not apply to locating the new well at the Acappella Site, which may require a negative declaration.

The Well 15 Replacement Project is planned to be completed by early 2016. Extensive community outreach will be conducted prior to the start of the test well drilling to include impacted stakeholders, neighbors, schools, park users, Acappella/Archstone residents, and other interested parties at either of the two sites. The test well process is expected to last approximately nine months.

**FISCAL IMPACT:**

The Well No. 15 Commodore Park Replacement Project is an established Capital Improvement Project funded through Water Enterprise funds. The cost for each test well is estimated between \$75,000 and \$100,000. Adequate funding is available in the 2012-13 CIP budget with a current project fund balance of \$799,959. Bidding the project for one test well at the Acappella location with the Commodore Park location as a bid alternate has a potential savings of \$75,000 to \$100,000 if only one test well is required.

**ALTERNATIVES:**

1. Proceed with design and award a construction contract to install two test wells, one at Acappella Site and the other at Commodore Park Site. The location for the final production well would be constructed at the test well site with potentially higher yield and water quality.
2. Proceed with design and award a construction contract for a test well at the Commodore Park Site as the base bid and a test well at the Acappella Site as an optional bid item.
3. Do not proceed with the drilling of test wells and defer the project. Proceed only with the design of a test well at the Acappella Site and return to the City Council for award of the construction contract.

**RECOMMENDATION:**

Receive report on the Well 15 Replacement Project and authorize design of proposed test well at the Acappella Site and an optional Test Well at the Commodore Park site.

**ATTACHMENTS:**

1. Exhibits "A" & "B"- Impact to the Commodore Dog Park

2. EKI Memorandum dated July 2, 2013- Preliminary Lifecycle Cost Comparison for Commodore Park Site and Acappella Site
3. Resolution

**DATE PREPARED:**

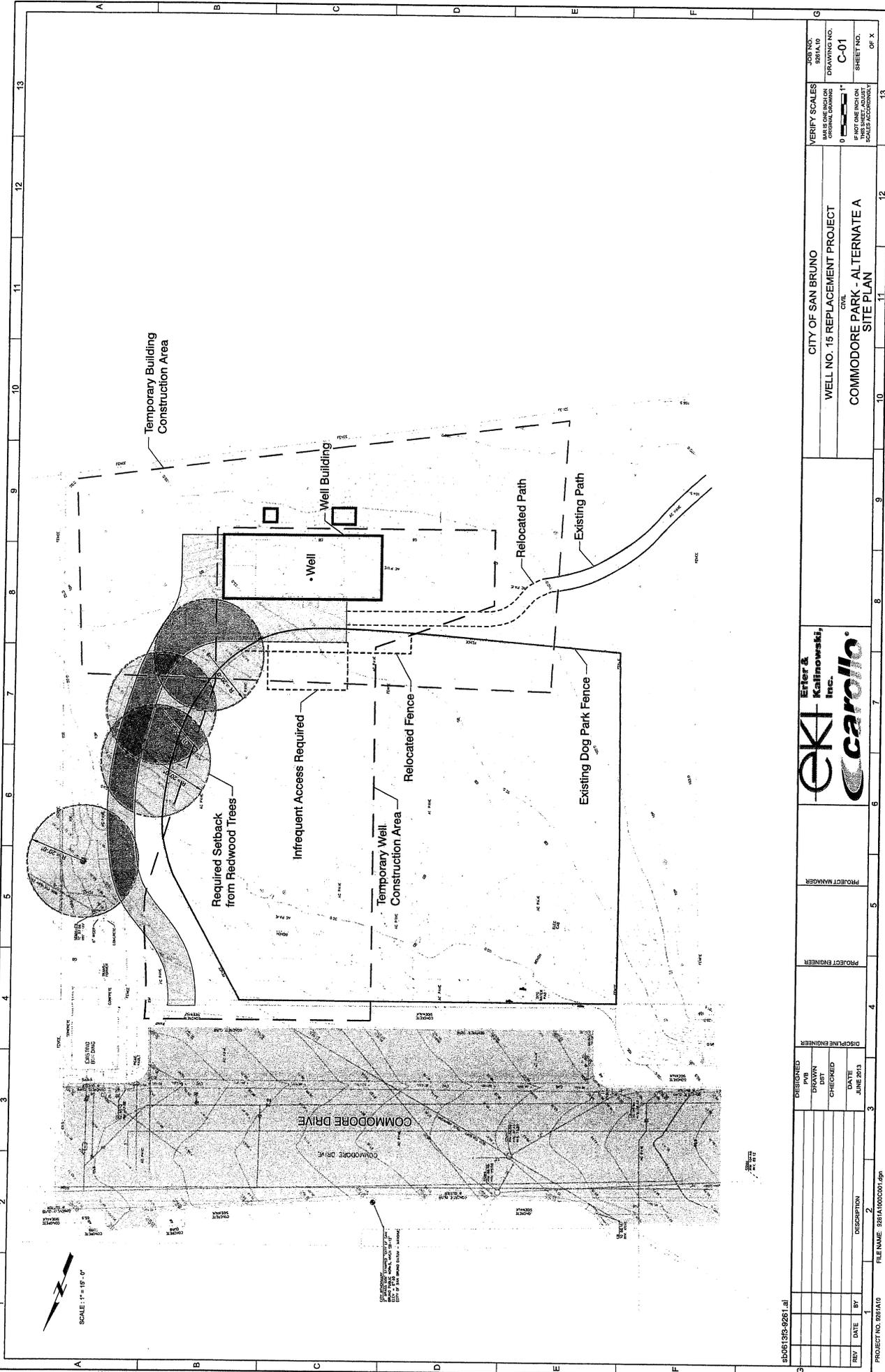
September 23, 2013

**DISTRIBUTION:**

None.

**REVIEWED BY:**

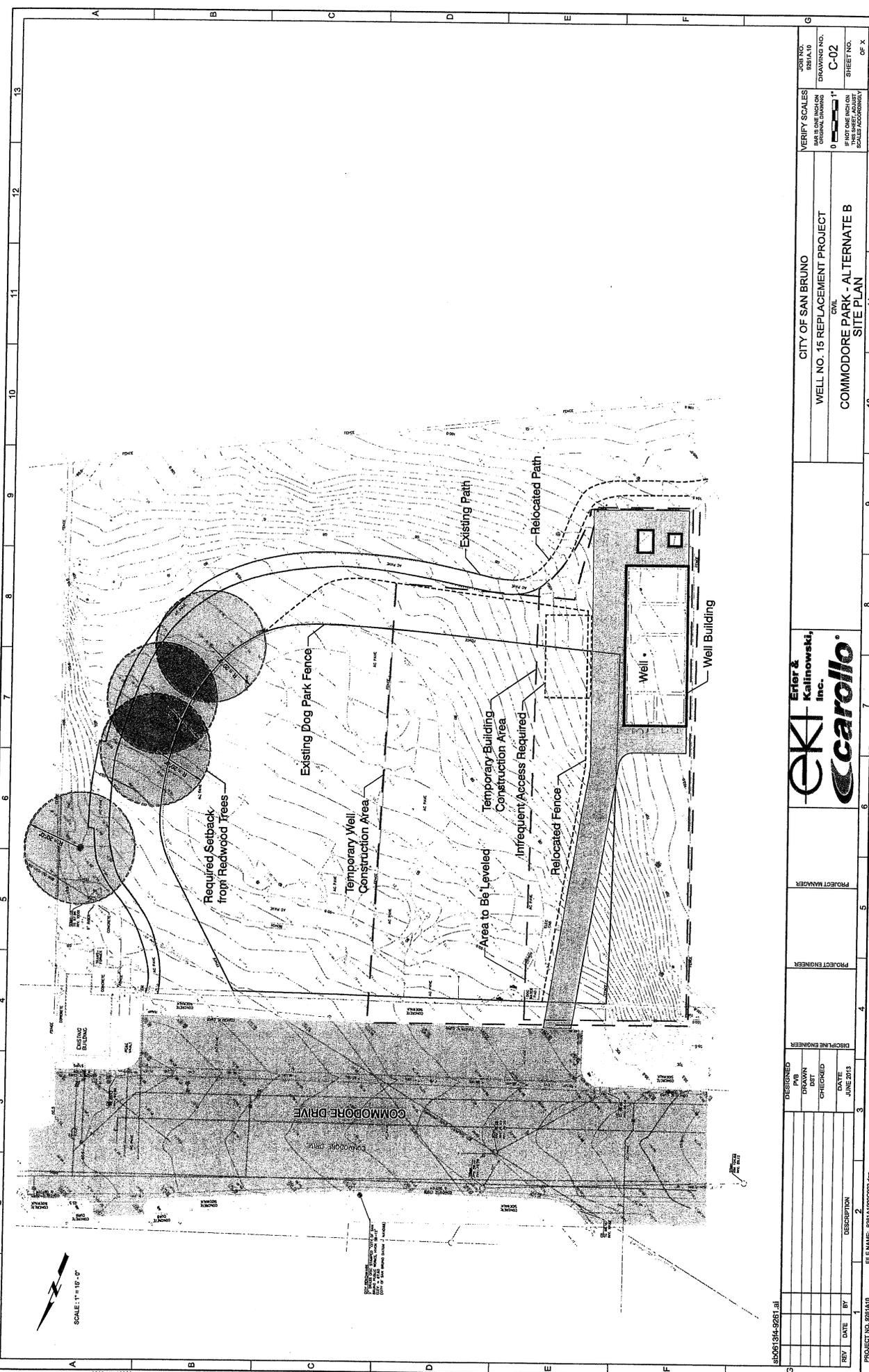
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SCALE: 1" = 15' - 0"

PROVIDED FOR THE CITY OF SAN BRUNO  
 BY THE SAN BRUNO PUBLIC UTILITIES DEPARTMENT  
 ON 06/11/2013

DESIGNED		DRAWN		CHECKED		DATE	
PVB		PVB		PVB		JUNE 2013	
DISCIPLINE ENGINEER		PROJECT ENGINEER		PROJECT MANAGER		CITY OF SAN BRUNO	
SD061368-9261.dwg		WELL NO. 15 REPLACEMENT PROJECT		COMMODORE PARK - ALTERNATE A		SITE PLAN	
PROJECT NO. 3621A0		FILE NAME: 3681A1000001.dwg		DRAWING NO. C-01		SHEET NO. 1 OF 1	
LAST SAVED BY: mndahl@npsd		VERIFY SCALES		DRAWING NO.		SHEET NO.	
5555PLOT-INF-05555		5555PLOT-INF-05555		5555PLOT-INF-05555		5555PLOT-INF-05555	



VERIFY SCALES:  
 HAS 8 ONE INCH ORIGINAL DRAWING  
 0 IF NOT ONE INCH ON THIS SHEET, INDICATE SCALE IN THIS COLUMN  
 JOB NO. 0981A10  
 DRAWING NO. C-02  
 SHEET NO. OF X

CITY OF SAN BRUNO  
 WELL NO. 15 REPLACEMENT PROJECT  
 CIVIL  
 COMMODORE PARK - ALTERNATE B  
 SITE PLAN



PROJECT MANAGER  
 PROJECT ENGINEER  
 BROWNE ENGINEER

REV	DATE	BY	DESCRIPTION

DESIGNED  
 DRAWN  
 CHECKED  
 DATE: JUNE 2013

PROJECT NO. 0981A10  
 FILE NAME: 0981A100002.dwg



2 July 2013

**MEMORANDUM**

To: Wing Wong, P.E., City of San Bruno

From: Matthew Zucca, P.E.  
James F. Strandberg, P.G., C.HG.

Subject: Well 15 Replacement Project: Preliminary Lifecycle Cost Comparison for  
Commodore Park and Acappella Sites  
(EKI B20079.00)

At the City's request, Erler & Kalinowski, Inc. ("EKI") developed preliminary lifecycle cost estimates for comparison of the Commodore Park and Acappella sites for construction of Replacement Well 15. Based on EKI's review of available information, a hypothetical alternative was developed for each site to achieve a total production capacity of 500 gallons per minute ("gpm"). The hypothetical alternatives are summarized below and are followed by an assessment of the lifecycle cost estimates for design, construction, and operation and maintenance ("O&M") of Replacement Well 15 for a period of 30 years.

**ALTERNATIVE 1: COMMODORE PARK SITE**

Following its construction at the Commodore Park site in 1983, Well 15 has been operated at rates ranging from approximately 400 to 600 gpm. However, when operated at the upper end of this range, the pumping or dynamic water level was below the top of the well screen (i.e., greater than 300 feet below ground surface).

Historically, groundwater pumped from Well 15 contained variable concentrations of manganese; however, treatment was not required to achieve drinking water standards. Based on this information, the following major assumptions have been made for use in this lifecycle cost estimate for a Replacement Well 15 constructed at the Commodore Park site:

- Well production capacity of 400 gpm;
- Purchase of 100 gpm of water from San Francisco Public Utilities Commission ("SFPUC"); and
- No manganese treatment required.

**ALTERNATIVE 2: ACAPPELLA SITE**

The Acappella site, located generally between Well 15 and Well 16, is approximately 700 feet northeast of Well 15 and approximately 1,500 feet west of Well 16. The aquifer thickness at Well 16 is greater than at Well 15 and the production capacity of Well 16 is also greater than Well 15. Therefore, for the purpose of this analysis, a Replacement Well 15 constructed at the



Acappella site has been assumed to have a proportionally greater aquifer thickness and, therefore, a higher production capacity as compared to a Replacement Well 15 constructed at the Commodore Park site. However, groundwater from Well 16 must be treated for manganese, suggesting groundwater in the deeper portion of the aquifer has sufficiently high manganese concentrations to require treatment. Based on this information, the following major assumptions have been made for use in this lifecycle cost estimate for a Replacement Well 15 constructed at the Acappella site:

- Well production capacity of 500 gpm; and
- Manganese treatment required.

Other than these major assumptions for the two alternative sites, all other assumptions for design, construction, and O&M of Replacement Well 15 are the same.

### **PRELIMINARY LIFECYCLE COST COMPARISON**

Table 1 provides a summary of the preliminary lifecycle costs for the Commodore Park and Acappella sites; Tables 2A and 2B provide additional details and assumptions for each site.

The estimated present worth of lifecycle costs for the Commodore Park site is \$9.6M as compared to \$8M for the Acappella site. Therefore, EKI's analysis of the two hypothetical alternatives indicates the Acappella site would have lower lifecycle costs of \$1.6M over a 30-year period for Replacement Well 15. The lower costs associated with the lower production capacity at the Commodore Park site coupled with the lack of manganese treatment are offset by purchasing approximately 100 gpm of water from SFPUC to achieve a total production capacity of 500 gpm.

This analysis assumes that Replacement Well 15 at the Acappella site will be used at the higher production rate of 500 gpm in order to offset the purchase of 100 gpm of water from SFPUC and that groundwater will be available from the basin at this production rate. If the assumed higher production capacity at the Acappella site is not fully used, the lifecycle costs would change and the Commodore Park site may be less costly based on the assumption of no manganese treatment.



Attachments:

Table 1	Summary of Preliminary Lifecycle Cost Comparison for Commodore Park and Acappella Sites
Table 2A	Alternative 1: Commodore Park Site
Table 2B	Alterative 2: Acappella Site

cc: Klara Fabry, City of San Bruno  
Mark Reinhardt, City of San Bruno  
Joseph Cervantes, City of San Bruno  
Eunejune Kim, City of San Bruno  
Marty Cardone, City of San Bruno  
Vera Nelson, EKI  
Tom Elson, LSCE  
Scott Lewis, LSCE  
Dave Kraska, Carollo

**TABLE 1**

**SUMMARY OF PRELIMINARY LIFECYCLE COST COMPARISON FOR  
COMMODORE PARK AND ACAPPELLA SITES**

Well 15 Replacement Project, City of San Bruno, California

SITE ALTERNATIVE	DESCRIPTION	PRELIMINARY PRESENT WORTH OF LIFECYCLE COSTS (a)(b)
<p><u>Alternative 1</u> Commodore Park Site</p>	<p>Groundwater production well at 400 gpm <u>without</u> manganese treatment (includes engineering design, construction, and operations and maintenance costs over a 30-year lifecycle).  Purchase of water at 100 gpm from SFPUC over 30-year lifecycle (c).</p>	<p>\$6,800,000 <u>\$2,800,000</u> <b>\$9,600,000</b></p>
<p><u>Alternative 2</u> Acappella Site</p>	<p>Groundwater production well at 500 gpm with manganese treatment (includes engineering design, construction, and operations and maintenance costs over a 30-year lifecycle).</p>	<p><b>\$8,000,000</b></p>
<b>Difference in Total Present Worth of Lifecycle Costs:</b>		<b>\$1,600,000</b>

**Abbreviations:**

"gpm" = gallons per minute

"SFPUC" = San Francisco Public Utilities Commission

**Notes:**

- (a) Costs in 2013 dollars using a 3% discount rate, based on United States Office of Management and Budget Circular A94 Appendix A, over a 30-year lifecycle.
- (b) Costs rounded to nearest hundred thousand dollars.
- (c) Cost to purchase 100 gpm of water from SFPUC for Alternative 1 is based on the fiscal year 2013 to 2014 price of \$2.45 per 100 cubic feet and 300 days/year of operation. No escalation factored for the cost of water.

TABLE 2A

ALTERNATIVE 1 - COMMODORE PARK SITE  
 PRELIMINARY LIFECYCLE COSTS FOR A GROUNDWATER PRODUCTION WELL AT 400 GPM  
 WITHOUT MANGANESE TREATMENT

Well 15 Replacement Project, City of San Bruno, California

TASKS	UNIT	QNTY	UNIT COST (\$)	TOTAL COST (\$)	PRESENT WORTH (a)(b) (\$)
<b>ENGINEERING DESIGN</b>					
• Well Design	ls	1	\$300,000	\$300,000	
• Wellhead and Building Design with No Manganese Treatment	ls	1	\$175,000	\$175,000	
• Construction Management	ls	1	\$300,000	\$300,000	
• City Staff Administration on Design and CM Costs	%	10%	\$775,000	\$77,500	
<b>Subtotal Engineering Design Costs:</b>					<b>\$850,000</b>
<b>CAPITAL CONSTRUCTION COSTS</b>					
• Test Well	ls	1	\$100,000	\$100,000	
• Production Well	ls	1	\$500,000	\$500,000	
• Wellhead and Building with No Manganese Treatment	ls	1	\$1,500,000	\$1,500,000	
• Contingency on Construction Costs	%	20%	\$2,100,000	\$420,000	
<b>Subtotal Capital Construction Costs:</b>					<b>\$2,500,000</b>
<b>ANNUAL O&amp;M COSTS</b>					
• Routine Well O&M (c)	hr	520	\$70	\$36,400	
• Support Vehicles and Equipment (c)	hr	520	\$70	\$36,400	
• Chemicals (d)	gpm	400	\$36	\$14,400	
• Well Building Power	mo	12	\$1,000	\$12,000	
• Well Pumping Costs (e)	kw-h	468,897	\$0.15	\$70,335	
<b>Subtotal Annual O&amp;M Costs:</b>					<b>\$170,000</b>
<b>Subtotal 30-Year Operating Costs:</b>					<b>\$3,332,000</b>
<b>RECURRING MAINTENANCE COSTS AT YEAR 10</b>					
• Replacement of Green Sand Media	ls	0	\$80,000	\$0	
• Motor, Pump, and Equipment Rehabilitation (f)	%	5%	\$1,500,000	\$75,000	
<b>Subtotal Recurring Maintenance Costs:</b>					<b>\$75,000</b>
<b>Subtotal Maintenance Costs at Year 10:</b>					<b>\$56,000</b>
<b>RECURRING MAINTENANCE COSTS AT YEAR 20</b>					
• Replacement of Green Sand Media	ls	0	\$80,000	\$0	
• Motor, Pump, and Equipment Rehabilitation (f)	%	5%	\$1,500,000	\$75,000	
<b>Subtotal Recurring Maintenance Costs:</b>					<b>\$75,000</b>
<b>Subtotal Maintenance Costs at Year 20:</b>					<b>\$43,000</b>
<b>TOTAL ESTIMATED PRESENT WORTH OF COSTS</b>					<b>\$6,800,000</b>

**Abbreviations:**

- "CM" = construction management
- "gpm" = gallons per minute
- "kw-h" = kilowatt-hour
- "ls" = lump sum
- "mo" = month
- "psi" = pounds per square inch
- "O&M" = operation and maintenance

**Notes:**

- (a) Costs in 2013 dollars using a 3% discount rate, based on United States Office of Management and Budget Circular A94 Appendix A, over a 30-year lifecycle.
- (b) Total estimated present worth of costs rounded to nearest hundred thousand dollars; subtotals rounded to nearest thousand dollars.
- (c) Routine well maintenance costs at labor and equipment rates of \$70/hr, 10 hrs/week (2-person crew) per City of San Bruno.
- (d) Unit cost for chemicals based on current annual chemical costs of \$54,000 for Wells 16 through 20, per City of San Bruno, divided by the total production rate of 1,485 gpm.
- (e) Annual pumping costs at 300 days/year of operation at 87 horsepower. Required pump power based on 535 feet of total dynamic head (including 80 psi system pressure), 91% motor efficiency, and 68% pump efficiency. No escalation in electricity rates.
- (f) Rehabilitation of motor, pump, and equipment costs equal to 5% of wellhead and building construction cost (\$200,000) incurred every 10 years (operation years 10 and 20).

TABLE 2B

ALTERNATIVE 2 - ACAPPELLA SITE  
 PRELIMINARY LIFECYCLE COSTS FOR A GROUNDWATER PRODUCTION WELL AT 500 GPM  
 WITH MANGANESE TREATMENT

Well 15 Replacement Project, City of San Bruno, California

TASKS	UNIT	QNTY	UNIT COST (\$)	TOTAL COST (\$)	PRESENT WORTH (a)(b) (\$)
<b>ENGINEERING DESIGN</b>					
• Well Design	ls	1	\$300,000	\$300,000	
• Wellhead and Building Design with Manganese Treatment	ls	1	\$200,000	\$200,000	
• Construction Management	ls	1	\$300,000	\$300,000	
• City Staff Administration on Design and CM Costs	%	10%	\$800,000	\$80,000	
<b>Subtotal Engineering Design Costs:</b>				<b>\$880,000</b>	
<b>CAPITAL CONSTRUCTION COSTS</b>					
• Test Well	ls	1	\$100,000	\$100,000	
• Production Well	ls	1	\$500,000	\$500,000	
• Wellhead and Building with Manganese Treatment	ls	1	\$2,000,000	\$2,000,000	
• Contingency on Construction Costs	%	20%	\$2,600,000	\$520,000	
<b>Subtotal Capital Construction Costs:</b>				<b>\$3,100,000</b>	
<b>ANNUAL O&amp;M COSTS</b>					
• Routine Well O&M (c)	hr	520	\$70	\$36,400	
• Support Vehicles and Equipment (c)	hr	520	\$70	\$36,400	
• Chemicals (d)	gpm	500	\$36	\$18,000	
• Well Building Power	mo	12	\$1,000	\$12,000	
• Well Pumping Costs (e)	kw-h	586,121	\$0.15	\$87,918	
<b>Subtotal Annual O&amp;M Costs:</b>				<b>\$191,000</b>	
<b>Subtotal 30-Year Operating Costs:</b>				<b>\$3,744,000</b>	
<b>RECURRING MAINTENANCE COSTS AT YEAR 10</b>					
• Replacement of Green Sand Media (f)	ls	1	\$80,000	\$80,000	
• Motor, Pump, and Equipment Rehabilitation (g)	%	5%	\$2,000,000	\$100,000	
<b>Subtotal Recurring Maintenance Costs:</b>				<b>\$180,000</b>	
<b>Subtotal Maintenance Costs at Year 10:</b>				<b>\$134,000</b>	
<b>RECURRING MAINTENANCE COSTS AT YEAR 20</b>					
• Replacement of Green Sand Media (f)	ls	1	\$80,000	\$80,000	
• Motor, Pump, and Equipment Rehabilitation (g)	%	5%	\$2,000,000	\$100,000	
<b>Subtotal Recurring Maintenance Costs:</b>				<b>\$180,000</b>	
<b>Subtotal Maintenance Costs at Year 20:</b>				<b>\$100,000</b>	
<b>TOTAL ESTIMATED PRESENT WORTH OF COSTS</b>				<b>\$8,000,000</b>	

**Abbreviations:**

- "CM" = construction management
- "gpm" = gallons per minute
- "kw-h" = kilowatt-hour
- "ls" = lump sum
- "mo" = month
- "psi" = pounds per square inch
- "O&M" = operation and maintenance

**Notes:**

- (a) Costs in 2013 dollars using a 3% discount rate, based on United States Office of Management and Budget Circular A94 Appendix A, over a 30-year lifecycle.
- (b) Total estimated present worth of costs rounded to nearest hundred thousand dollars; subtotals rounded to nearest thousand dollars.
- (c) Routine well maintenance costs at labor and equipment rates of \$70/hr, 10 hrs/week (2-person crew) per City of San Bruno.
- (d) Unit cost for chemicals based on current annual chemical costs of \$54,000 for Wells 16 through 20, per City of San Bruno, divided by the total production rate of 1,485 gpm.
- (e) Annual pumping costs at 300 days/year of operation at 109 horsepower. Required pump power based on 535 feet of total dynamic head (including 80 psi system pressure), 91% motor efficiency, and 68% pump efficiency. No escalation in electricity rates.
- (f) Cost for replacement of manganese treatment media incurred every 10 years per City of San Bruno (operation years 10 and 20).
- (g) Rehabilitation of motor, pump, and equipment costs equal to 5% of wellhead and building construction cost (\$200,000) incurred every 10 years (operation years 10 and 20).

RESOLUTION NO. 2013 - \_\_\_\_

**ADOPT RESOLUTION AUTHORIZING THE DESIGN OF PROPOSED TEST WELL AT THE ACAPPELLA SITE AND AN OPTIONAL TEST WELL AT THE COMMODORE PARK SITE FOR THE WELL 15 REPLACEMENT PROJECT**

**WHEREAS**, the City relies on water production wells to supplement water purchased from the San Francisco Public Utilities Commission (SFPUC) to provide water service to San Bruno customers; and

**WHEREAS**, Well 15 at Commodore Park, one of the City's five production wells, was taken out of service in 2010; and

**WHEREAS**, the City desires to maintain a reliable potable water supply; and

**WHEREAS**, the City's Capital Improvement Program (CIP) includes a water improvement project to replace Well 15; and

**WHEREAS**, six potential sites were evaluated and two sites were found to be most suitable for a replacement well, Acapella site and Commodore Park; and

**WHEREAS**, the Acapella site is predicted to have a higher water production capacity; and

**WHEREAS**, the project approach is to install a test well at the Acapella site to determine feasibility and if water test results at Acapella site are not favorable, install an additional test well at Commodore Park; and

**WHEREAS**, the replacement of Well 15 is an established Capital Improvement Project funded through Water Capital funds with an estimated total cost of \$3,210,000 and \$799,959 available.

**NOW, THEREFORE, BE IT RESOLVED** that the San Bruno City Council hereby authorize the design of proposed test Well at the Acappella Site and an Optional test Well at the Commodore Park Site for the Well 15 Replacement Project.

Dated: October 22, 2013

ATTEST:

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Carol Bonner, City Clerk

-o0o-

I, Carol Bonner, City Clerk, do hereby certify that the foregoing Resolution was duly and regularly passed and adopted by the City

Council of the City of San Bruno this 22nd day of October 2013 by  
the following vote:

AYES: Councilmembers: \_\_\_\_\_  
NOES: Councilmembers \_\_\_\_\_  
ABSENT: Councilmembers: \_\_\_\_\_



## City Council Agenda Item Staff Report

CITY OF SAN BRUNO

**DATE:** October 22, 2013

**TO:** Honorable Mayor and Members of the City Council

**FROM:** Klara A. Fabry, Public Services Director

**SUBJECT:** Receive Report and Provide Direction to Staff Regarding Alternatives for the Trenton Sewer Replacement Project

### **BACKGROUND:**

The Trenton Drive sewer main is located in an easement behind the homes on the south side of Trenton Drive, uphill from San Bruno Avenue. This sewer main collects sewage from the adjacent properties and flows from multiple neighborhoods. The sewer main is approximately 2,400 feet long and was constructed in the 1950s using 8-inch diameter vitrified clay pipe. Due to the steep terrain and heavy eucalyptus and vegetative growth in the area, the Trenton sewer main is inundated with root intrusion, which requires constant and extensive maintenance work by City crews. At many locations along this sewer main, City crews are unable to maneuver the maintenance equipment to the manholes in order clear blockages.

Closed Circuit Television Inspection (CCTV) data recorded in 2010 for the Trenton Sewer indicated that there are significant sags, invasive roots, cracks, offset joints or holes in the pipe. In addition, about half of the sewer laterals were partially blocked by roots. The Trenton area had eight incidents of sanitary sewer overflows (SSOs) between 2007 and 2010, with four of the eight SSOs being the more serious Category 1 SSO, where there are over 1000 gallons spilled or not 100% recovered from a storm drain. The Trenton Sewer is in need of rehabilitation or replacement in order to reduce SSOs.

In November 2012, the City Council awarded an engineering design contract to West Yost Associates (West Yost) for the Trenton Sewer Replacement Project. In their proposal, West Yost proposed an alternative to re-route the sewer main from behind the homes to a City right-of-way on Trenton Drive. As a first task of the contract, West Yost performed a design feasibility study which summarized six (6) alternatives in a Technical Memorandum (Attachment 1).

### **DISCUSSION:**

Six alternatives were considered for the replacement or relocation of the Trenton Drive sewer. The six alternatives and associated advantages and disadvantages are described below:

#### Alternative 1

Alternative 1 includes rehabilitating the existing sewer with cured-in-place pipe (CIPP). CIPP is a structural rehabilitation method that will reduce inflow and infiltration, as well as root intrusion. However, installation of CIPP would reduce the inside diameter of the pipe by about  $\frac{1}{2}$  to  $\frac{3}{4}$  of an inch, which would reduce the flow capacity of the pipe.

*D.B.*

#### Alternative 2

Alternative 2 would replace the sewer main by pipe-bursting with high density polyethylene (HDPE) pipe. The new pipe would be installed at the existing line and grade, and the inside diameter could be increased to slightly larger than the existing pipe. The HDPE sewer main would have welded joints and lateral connections that would eliminate root intrusion. However, pipe-bursting of the two segments of sewer pipes that runs between homes on Trenton Drive to the easement may cause damage to the homes from the pipe-bursting process.

#### Alternative 3

Alternative 3 would entail constructing a new sewer in Trenton Drive with a single discharge point to San Bruno Avenue, and constructing a new sewer in San Bruno Avenue to the manhole downstream of Livingston Terrace.

The primary advantage of Alternative 3 is that only the discharge point between the houses extending down to San Bruno Avenue would be in the easement area, and the two manholes in easements would be accessible from existing access roads.

The challenges of this alternative are construction related. Because all of the houses on the southeast side of Trenton Drive are two stories, with the second story below the street level, the sewer in Trenton Drive would be 15 to 27 feet deep. Constructing a sewer at this depth requires substantial shoring, and is more costly than standard sewers with 4 to 6 feet of cover.

Rerouting the laterals from the backyard to the front yard would also be challenging. Although the sewer laterals would most likely be installed by horizontal directional drilling, accessing the backyards with a drilling rig would require descending stairs (many of which are wood) or opening the fences and accessing from the easement area. Due to the bending limitations of the pipe material, the lateral excavations would need to extend approximately 10 feet beyond the connection point in the street to pull in the lateral pipe. Long term maintenance of deep sewer laterals and mains would be problematic and costly.

#### Alternative 4

Alternative 4 is very similar to Alternative 3, but would include two discharge points from Trenton to the easement behind the homes. Adding a second discharge point allows the sewer to follow the grade of the road. The high points of the new sewer would be established using the lowest building corner elevation and subtracting 2 feet in elevation to account for rerouting the laterals. The depth of the sewer would range from 15 to 18 feet.

The advantages and disadvantages are similar to Alternative 3. However, there would be two sewers through easements, and the new sewer in San Bruno Avenue would be nearly twice as long as Alternative 3.

#### Alternative 5

Alternative 5 is a hybrid project that includes CIPP, pipe-bursting and open-cut construction. Similar to Alternative 2, the majority of the existing sewer would be replaced by pipe-bursting to provide a seamless sewer system in the existing easements. The portions of pipe between the homes on Trenton Drive would be rehabilitated with CIPP. The two end line segments of the sewer system, along the southern and eastern edges of the Trenton Drive properties, could be replaced by open-cut construction and be raised slightly to improve flow characteristics.

This alternative would eliminate pavement cutting in Trenton Drive and Livingston Terrace, provide a root barrier and eliminate any concerns related to pipe bursting under or near existing structures.

To improve access to the sewer behind Livingston Terrace there are two realignment options:

- Option A: Replace two segments leading to and running behind the condominiums with a single main. The existing sewer between the units would remain and be rehabilitated by pipe bursting or CIPP.
- Option B: Replace the two segments described above plus the segment between the condominiums with a segment that would run directly to San Bruno Avenue then northeast, which will connect to an existing main in San Bruno Avenue.

Alternative 6

This alternative consists of installing individual grinder pumps in the backyard of each house, installing individual force mains from the backyard to the front yard, installing common force mains in Trenton Drive and extending a sewer east in San Bruno Avenue to pick up flow from the last easement sewer.

The advantage of this alternative is that nearly all existing sewer mains in the easements could be abandoned. The disadvantages include both construction challenges and ongoing maintenance issues. The construction challenge is similar to Alternatives 3 and 4 in that a sewer force main lateral would need to be constructed from each backyard up to Trenton Drive. If the City installs individual grinder pumps, it is presumed that the City would be responsible for their maintenance. This option presents 40 individual points of concern, as well as regular rehabilitation and /or replacement of mechanical equipment located on private property. In addition, force main discharge into manholes can create turbulence that may cause deterioration of the manholes and odor problems.

Project Costs

The estimated cost for each project alternative are as follows:

<u>Alternative</u>	<u>Anticipated Construction Costs</u>
1	\$ 921,000
2	\$ 989,000
3	\$ 2,310,000
4	\$ 2,674,000
5A	\$ 1,012,000
5B	\$ 1,070,000
6	\$ 1,452,000

The costs for Alternatives 1, 2 and 5, include approximately \$205,000 for construction of a permanent access road and retaining walls, plus \$33,000 for temporary access roads. Alternatives 3 and 4 include approximately \$66,000 for temporary access roads for use during construction. Proposed permanent access roads are shown on Figure 10 of Attachment 1. The estimated costs do not include tree removal. It is anticipated that tree removal, if required, may have to be performed under separate contract to minimize disruption of raptor nesting activities.

For the project schedule, staff estimates that the design will take approximately nine months to complete with an additional one year for the construction. It is anticipated that the project will be completed by summer 2015.

#### Recommended Project

Based on the above analysis, Staff recommends Alternative 5B. This alternative would eliminate pavement cutting in Trenton Drive and Livingston Terrace, provide a root barrier, and eliminate any concerns related to pipe bursting under or near existing structures. The remaining manhole behind Livingston Terrace could also be eliminated with Alternative 5B. Due to the construction challenges and long term maintenance issues of a deep sewer main and laterals, and the required construction within San Bruno Avenue, the cost of relocating the sewer from the easement to Trenton Drive is excessive. In addition, sewer segments will remain in the easements. Therefore, Alternatives 3 and 4 are not recommended. Alternative 6 is not recommended because installing individual grinder pumps, force main laterals, force mains in Trenton Drive and extending the gravity sewer in San Bruno Avenue would be expensive and would lead to ongoing maintenance responsibilities.

The costs of the remaining Alternatives 1, 2, and 5 range from approximately \$921,000 to \$1,070,000, which is less than half the cost of Alternative 3 or Alternative 4. These alternatives all provide barriers to root intrusion and access to most structures.

#### Environmental Considerations

As a maintenance project that will not increase capacity, this project would generally be Categorically Exempt under CEQA. However, depending on the selected alternative's anticipated work in the existing easement, and its impact on the flora and fauna, an initial study and mitigated negative declaration may be required. The details of the CEQA documentation requirements will be defined upon selection of the project alternative. Once the final approach and the proposed design for the project have been identified, Staff will prepare the appropriate environmental review documents for recordation under the CEQA guidelines.

#### **FISCAL IMPACT:**

The Trenton Drive Sewer Main Project is an established Capital Improvement Project (CIP) funded through Wastewater Capital funds. There is adequate funding available in the 2012-13 CIP carryover budget with a total appropriation of \$1,291,411 to complete the design. The current projected construction cost is higher than original CIP estimates and it is anticipated that additional appropriation would be required to complete the project. Staff will request additional funding if necessary for the next fiscal year when design is finalized and a more defined cost estimate becomes available.

#### **RECOMMENDATION:**

Receive report and provide direction to staff regarding alternatives for the Trenton Sewer Replacement Project.

#### **ATTACHMENTS:**

1. West Yost Technical Memorandum dated August 15, 2013

**DATE PREPARED:**

September 23, 2013

**DISTRIBUTION:**

None

**REVIEWED BY:**

\_\_\_\_\_ CM



## **TECHNICAL MEMORANDUM**

DATE: August 15, 2013 Project No.: 462-00-13-06

TO: Wing Wong, City of San Bruno  
Dennis Bosch, City of San Bruno

FROM: Nancy McWilliams, R.C.E #C68331

REVIEWED BY: John Goodwin, R.C.E. #40722

SUBJECT: Preliminary Design for Trenton Drive Sewer Replacement Project

This Technical Memorandum (TM) summarizes West Yost Associates' (West Yost) technical evaluation of the preliminary design for the Trenton Drive Sewer Replacement Project (Project). This TM includes discussion of the following topics:

- Background
- Condition Assessment
- Operations and Maintenance History
- Site Investigation
- Alternative Analysis
- Project Costs
- Environmental Considerations
- Recommended Project

### **BACKGROUND**

The Trenton Drive sewer is located in an easement south of the properties on the south side of Trenton Drive from west of Essex Court to Charleston Avenue as shown on Figure 1. The existing sewer in the easement is approximately 2,400 feet long and was constructed in the 1950s of 8-inch diameter vitrified clay pipe. The existing terrain is very steep, and since the sewer was installed the easement has become overgrown with eucalyptus trees, pine trees, and well developed scrub brush. The tree roots have invaded the sewer creating an increased need for maintenance, while the trees and associated undergrowth has greatly limited access to the manholes. West Yost was retained to design the relocation or rehabilitation of the sewer main to improve function and maintainability of the sewer main.

## CONDITION ASSESSMENT

The City of San Bruno (City) provided closed circuit television inspection (CCTV) data recorded in 2010 for the existing sewers in the easement. West Yost reviewed the CCTV to assess the condition of the sewers. Figure 2 shows the results of the condition assessment. In general there are two significant sags, two segments with invasive roots, one segment with cracks, and two locations with moderate offset joints or holes in the pipe. In addition, about half of the sewer laterals are at least partially blocked by roots.

## OPERATIONS AND MAINTENANCE HISTORY

The City provided a brief history of operations and maintenance on the sewer in the easement. Since 2007 this sewer has reported four Category 1 sanitary sewer overflows (SSOs) and four Category 2 SSOs. A Category 1 SSO is defined as a failure in a sanitary sewer system “that results in a (1) discharge of sewage which equals or exceeds 1,000 gallon, or (2) discharge of sewage to a surface water and/or drainage channel, or (3) discharge of sewage to a storm drain pipe which was not fully captured and returned to the sanitary sewer system. A Category 2 SSO is defined as any discharge of sewage resulting from a failure in a sanitary sewer system which does not meet the criteria for a Category 1 SSO. Table 1 summarizes the maintenance activities, and associated costs related to the easement sewer, not including fines associated with SSOs.

<b>Table 1. Estimated Maintenance Costs</b>			
<b>Activity</b>	<b>Frequency</b>	<b>Cost per Service, dollars</b>	<b>Approximate Annual Cost, dollars</b>
Replace laterals	1 every three years	8,000	2,667
Clean and apply root treatment to lateral	20 per year	350	7,000
Rod mains	4 per year	2,750	11,000
<b>Approximate average maintenance per year</b>			<b>\$20,667</b>

## SITE INVESTIGATION

The City provided survey information previously collected for evaluation of the Trenton Drive sewers. In consideration of rerouting the sewer from the backyard to the front yard, Wilsey Ham collected additional data points in the backyards of 12 homes. The previous survey was on NGVD 29 datum, and the current survey is on NAVD 88 datum. Based on the elevation differences noted in several features surveyed in both efforts, the rim and invert elevations from the previous survey were adjusted by +2.50 feet. The preliminary profile drawings included in Appendix A reflect adjusted elevations. All features will be resurveyed during design based on the City’s current benchmark system and NAVD 88 datum.

West Yost walked the existing alignment to verify locations and access to existing sewer structures within the easement. Figure 2 shows locations of existing access roads with a few photos to indicate condition. Primary access to the sewer is through the driveway serving the existing water tank. There is adequate vehicle access to the four manholes east of the water tank. There is no vehicle access to the manholes north and west of the water tank or behind the Livingston Terrace condominiums.

Figure 3 includes photos of all structures that were accessible on foot. The manholes behind Livingston Terrace are adjacent to an open channel v-ditch drainage structure. The manholes west of the water tank were all near the back fences, and the manhole nearest the water tank is under an existing gate. Some of the manholes had covers with vent holes, and a couple of manholes were in low spots; these should be modified to reduce stormwater flowing into the sewers. The two cleanouts were not found.

### **ALTERNATIVES ANALYSIS**

Six alternatives were considered for the replacement or relocation of the Trenton Drive sewer. Two alternatives included constructing a new sewer in Trenton Drive, abandoning the backyard sewer, and rerouting the sewer laterals from the backyard to the front yard, two alternatives included rehabilitation/replacement of the pipeline in place, one alternative included rehabilitation/replacement in place with one open cut realignment, and one alternative included the installation of grinder pumps for each of the homes. The six alternatives are listed below and described in detail in this section:

- **Alternative 1:** Rehabilitate the existing sewer by installing Cured in Place Pipe (CIPP), as shown on Figure 5.
- **Alternative 2:** Replace the existing sewer in the easement with a new sewer by pipe bursting, as shown on Figure 5.
- **Alternative 3:** Construct new sewer in Trenton Drive with single exit point between 2415 and 2419 Trenton Drive, as shown on Figure 6.
- **Alternative 4:** Construct new sewer in Trenton Drive with two discharge points, one between 2415 and 2419 Trenton Drive and the other between 2431 and 2435 Trenton Drive, as shown on Figure 7.
- **Alternative 5:** Hybrid project which includes CIPP, pipe bursting and open cut construction, as shown on Figure 8.
- **Alternative 6:** Install individual grinder pumps in each backyard and construct individual force mains to discharge in Trenton Drive.

### **Alternative 1**

Alternative 1 includes rehabilitating the existing sewer with cured-in-place (CIPP). CIPP is a structural rehabilitation method that will reduce inflow and infiltration, as well as root intrusion. In general, CIPP installation impacts the surrounding environment less than other construction methods because the liner can be installed through existing manholes. However, in order to install the CIPP and maintain the sewer line in the future, an access road would need to be constructed along the easement. Installation of CIPP would reduce the inside diameter of the pipe by about  $\frac{1}{2}$  to  $\frac{3}{4}$  of an inch. If there are capacity deficiencies in the existing sewer, this rehabilitation method would not be recommended.

As an option, the City could install new wyes, pipe burst or install new laterals to 5 feet inside the property line to limit the number of roots entering the sewer system from the laterals. This would provide a seamless sewer system from each home all the way to San Bruno Avenue.

### **Alternative 2**

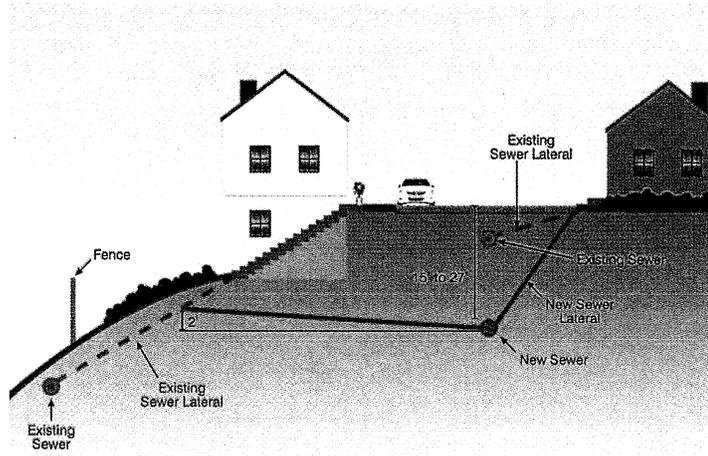
Alternative 2 would replace the pipe in its entirety by pipe bursting with high density polyethylene (HDPE) pipe. The new pipe would be installed at the current line and grade, and the inside diameter would be slightly larger than existing due to the manufacturing specifications of HDPE. The HDPE sewer main would have welded joints and lateral wyes that would eliminate root intrusion. Due to the short segments of existing reaches, and the angle points created at each manhole, approximately 4 installation pits would be required to install the new pipeline. The construction footprint would be larger than that required for CIPP, and access roads would need to be constructed along the easement for future maintenance activities.

As an option, the City could pipe burst or install new laterals to 5 feet inside the property line, and install a new welded HDPE sewer lateral connector to limit the number of roots entering the sewer system from the laterals. This would provide a seamless sewer system from each home all the way to San Bruno Avenue.

### **Alternative 3**

Alternative 3 as shown on Figure 6 would entail constructing a new sewer in Trenton Road with a single discharge point to San Bruno Avenue, and constructing a new sewer in San Bruno Avenue to the manhole downstream of Livingston Terrace. It is anticipated that the new sewer pipe would replace the existing sewer pipes in Trenton Drive due to the curved street. Appendix A, Exhibits 3 and 4 show the proposed plan and profile of the relocated sewer; the gray bands shown on the profile drawings indicate the building elevation at the ground surface, and the ground elevation near the back fence.

The high points of the new sewer would be established using the lowest building corner elevation and subtracting 2 feet in elevation to account for rerouting the laterals at a minimum 2 percent slope, see Inset 1. The slope of the new sewer main would be minimum 0.5 percent to the discharge point. A new sewer would need to be installed through the existing easement to convey flow south to San Bruno Avenue. Finally, a new sewer would be installed in San Bruno Avenue connecting to the existing sewer near the Livingston Terrace housing complex.



**Inset 1. Elevation of sewer in Trenton Drive would be established based on elevation of sewer lateral in the back yard, and allowing for 2' of fall from the backyard to the new sewer in Trenton Drive.**

The primary advantage of Alternative 3 is that sewers located in easements are minimized. Only the discharge point between the houses extending down to San Bruno Avenue would be in the easement area, and the two manholes in easements would be accessible from existing access roads.

The challenges of this alternative are construction related. Because all of the houses on the south/east side of Trenton Drive are two stories, with the second story below the street level, the sewer in Trenton Drive would be 15 to 27 feet deep. Constructing a sewer at this depth requires substantial shoring, and is more costly than standard sewers with 4 to 6 feet of cover. As an alternative, the sewer could be installed using trenchless construction such as pilot tube guided boring. The pilot tube would allow the pipe to be installed at accurate line and grade, and VCP can be jacked directly into place. Horizontal directional drilling (HDD) would not be an appropriate method for installation of the new sewer main in Trenton Drive because a minimum of 2 percent slope is required for proper installation.

Rerouting the laterals from the backyard to the front yard would also be challenging. Although the sewer laterals would most likely be installed by HDD, accessing the backyards with a drilling rig would require descending stairs (many of which are wood), or opening the fences and accessing from the easement area. Due to the bending limitations of the pipe material, the lateral excavations would need to extend approximately 10 feet beyond the connection point in the street to pull in the lateral pipe.

#### **Alternative 4**

Alternative 4 is very similar to Alternative 3, but would include two discharge points, as shown on Figure 7. Adding a second discharge point allows the sewer to follow the grade of the road. It is still anticipated that the new sewer pipe would replace the existing sewer pipes in Trenton Drive due to the curved street. Appendix A, Exhibits E and F show the proposed plan and profile of the relocated sewer. The high points of the new sewer would be established using the lowest building corner elevation and subtracting 2 feet in elevation to account for rerouting the laterals. The depth of the sewer would range from 15 to 18 feet.

The advantages and disadvantages are similar to Alternative 3. However, there would be two sewers through easements, and the new sewers in San Bruno Avenue would be nearly twice as long. The slope of the sewer in San Bruno Avenue would support installation by HDD. Alternate construction methods can be specified, and allow the contractor determine the most cost effective installation method.

#### **Alternative 5**

Alternative 5 is a hybrid project that includes CIPP, pipe bursting and open cut construction, as shown on Figure 8. Similar to Alternative 2, the majority of the existing sewer would be replaced by pipe bursting to provide a seamless sewer system in the existing easements. The portions of pipe between the homes on Trenton Drive would be rehabilitated with CIPP. The pipe through Livingston Terrace could be rehabilitated with CIPP or pipe burst. There are no laterals on these steep sewer segments, and the slope is sufficient to handle the small capacity lost through reducing the inside diameter of the pipe. CIPP would eliminate pavement cutting in Trenton Drive, Livingston Terrace (if CIPP method is used) and San Bruno Avenue, provide a root barrier, and eliminate any concerns related to pipe bursting under or near existing structures.

To improve access to sewer behind Livingston Terrace there are two realignment options as shown on Figure 8:

**Option A:** Replace two segments leading to and running behind the condominiums with a single main. The existing sewer between the units would remain and be rehabilitated by pipe bursting or CIPP.

**Option B:** Replace the two segments described above plus the segment between the condominiums with a segment that would run directly to San Bruno Avenue then north east along, and connect to an existing main in San Bruno Avenue.

Option A would still have one manhole that could be accessed on foot. Option B requires construction in San Bruno Avenue. Both realignment options could be installed by HDD if it is more cost effective than open cut construction.

The two end line segments of the sewer system, along the southern and eastern edges of the Trenton Drive properties, could be burst in place, or could be replaced by open cut construction. There is high velocity flow at each of their connection points which could block flow from entering from the end lines. If these lines are replaced by open cut, they could be raised slightly to eliminate the conflict. This alternative would require access roads to be constructed along the easement for future maintenance activities.

**Alternative 6**

Alternative 6 would eliminate all but one sewer main in the easements south and east of Trenton Drive. This alternative, as shown on Figure 9, consists of installing individual grinder pumps in the backyard of each house, installing individual force mains from the backyard to the front yard, and installing common force mains in Trenton Drive where existing gravity sewers that convey flow away from the easements do not exist, and extending a sewer east in San Bruno Avenue to pick up the last easement sewer.

The advantage of this alternative is that nearly all existing sewer mains in the easements could be abandoned. The disadvantages include both construction challenges and ongoing maintenance issues. The construction challenge is similar to Alternatives 3 and 4 in that a sewer force main laterals would need to be constructed from each backyard up to Trenton Drive. If the City installs individual grinder pumps, it is presumed that the City would be responsible for their maintenance. This option presents 40 individual points of concern, as well as regular rehabilitation and/or replacement of mechanical equipment. In addition, force main discharge into manholes can create turbulence that may cause deterioration of the manholes or odor problems.

**PROJECT COSTS**

The estimated costs for each project alternative are presented in Table 2, complete cost estimates are included as Appendix B.

<b>Table 2. Estimated Construction Costs</b>	
Alternative	Anticipated Construction Cost, dollars (rounded)
1	921,000 <sup>(a)</sup>
2	989,000 <sup>(a)</sup>
3	2,310,000
4	2,674,000
5A	1,012,000 <sup>(a,b)</sup>
5B	1,070,000 <sup>(a,b)</sup>
6	1,452,000
<sup>(a)</sup> Includes replacing laterals to 5' inside the property line. <sup>(b)</sup> Assumes end lines and new segment are replaced by open cut construction.	

All costs presented include 5 percent for mobilization, and 30 percent contingency. The costs for Alternatives 1 and 2, include approximately \$205,000 for construction of a permanent access road and retaining walls, plus \$33,000 for temporary access roads and Alternatives 3 and 4 include approximately \$66,000 for temporary access roads for use during construction. Proposed permanent access roads are shown on Figure 10. The estimated costs do not include tree removal. It is anticipated that tree removal, if required may have to be performed under separate contract to minimize disruption of raptor nesting activities.

## **ENVIRONMENTAL CONSIDERATIONS**

As a maintenance project that will not increase capacity, this project would generally be Categorically Exempt under CEQA. However, depending on the selected alternative's anticipated work in the existing easement, and its impact on the flora and fauna, an initial study and mitigated negative declaration may be required. The details of the CEQA documentation requirements will be defined upon selection of the project alternative.

## **RECOMMENDED PROJECT**

Due to the construction challenges of installing a deep sewer and re-routing the laterals, and the required construction within San Bruno Avenue, the cost of relocating the sewer from the easements to Trenton Drive is excessive. In addition, sewer segments will remain in the easements, therefore Alternatives 3 and 4 are not recommended. Alternative 6 is not recommended because installing individual grinder pumps, force main laterals, force mains in Trenton Drive, and extending the gravity sewer in San Bruno Avenue would be expensive and would lead to ongoing maintenance responsibilities. The recommended project could be Alternative 1, Alternative 2 or Alternative 5, each with lower lateral replacement. The costs of the preferred alternatives range from approximately \$921,000 to \$1,070,000, which is less than half the cost of Alternative 3 or Alternative 4, and they all provide barriers to root intrusion and access to most structures. Due to steep terrain, only foot access will be provided to two manholes: one at the western end of the project and one in Livingston Terrace. The remaining manhole behind Livingston Terrace could be eliminated if Option 5B is selected.

The advantages and disadvantages of the three preferred alternatives are outlined in Table 3.

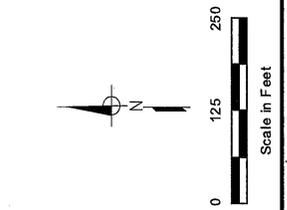
**Table 3. Advantages and Disadvantages of Preferred Alternatives**

Alternative	Advantages	Disadvantages	Cost, dollars
1 (CIPP)	<ul style="list-style-type: none"> <li>• Lowest Cost</li> <li>• Smallest Construction Footprint</li> <li>• No bursting between homes</li> </ul>	<ul style="list-style-type: none"> <li>• Inside reduced to 7.5-inches</li> <li>• Connection between wye and new lateral potential future maintenance</li> </ul>	921,000
2 (Pipe Burst)	<ul style="list-style-type: none"> <li>• Completely seamless system</li> <li>• Slightly larger inside diameter</li> </ul>	<ul style="list-style-type: none"> <li>• Requires bursting pits</li> </ul>	989,000
5A 5B (Hybrid)	<ul style="list-style-type: none"> <li>• Completely seamless system</li> <li>• Eliminates one difficult to access manhole</li> <li>• Slightly larger inside diameter</li> <li>• Possible to raise end of the line mains</li> <li>• No bursting between buildings</li> </ul>	<ul style="list-style-type: none"> <li>• Requires bursting pits</li> <li>• Requires open cut construction to eliminate manhole(s)</li> </ul>	1,012,000 1,070,000

West Yost attended a workshop with City staff to discuss all of the proposed alternatives. After reviewing the advantages and disadvantages of each, the recommended project was identified as Alternative 5B: the hybrid project with discharge directly to San Bruno Avenue which eliminates all flow through Livingston Terrace, including replacement of lower laterals and installation of lateral cleanouts.



**FIGURE 1**  
**City of San Bruno**  
**Trenton Sewer Replacement**  
**EXISTING SEWER SYSTEM**



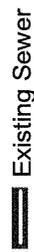
- LEGEND**
- Existing Manhole
  - Existing Manhole with Limited or No Access
  - Existing Lamphole
  - Existing Lamphole with Limited or No Access
  - ▬ Existing Sewer





**LEGEND**

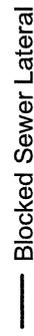
- Existing Manhole
- Existing Manhole with Limited or No Access
- Existing Lamphole
- Existing Lamphole with Limited or No Access



Existing Sewer



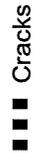
Sewer Lateral



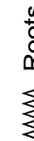
Blocked Sewer Lateral



Hole / Offset Joint



Cracks



Roots



Sag



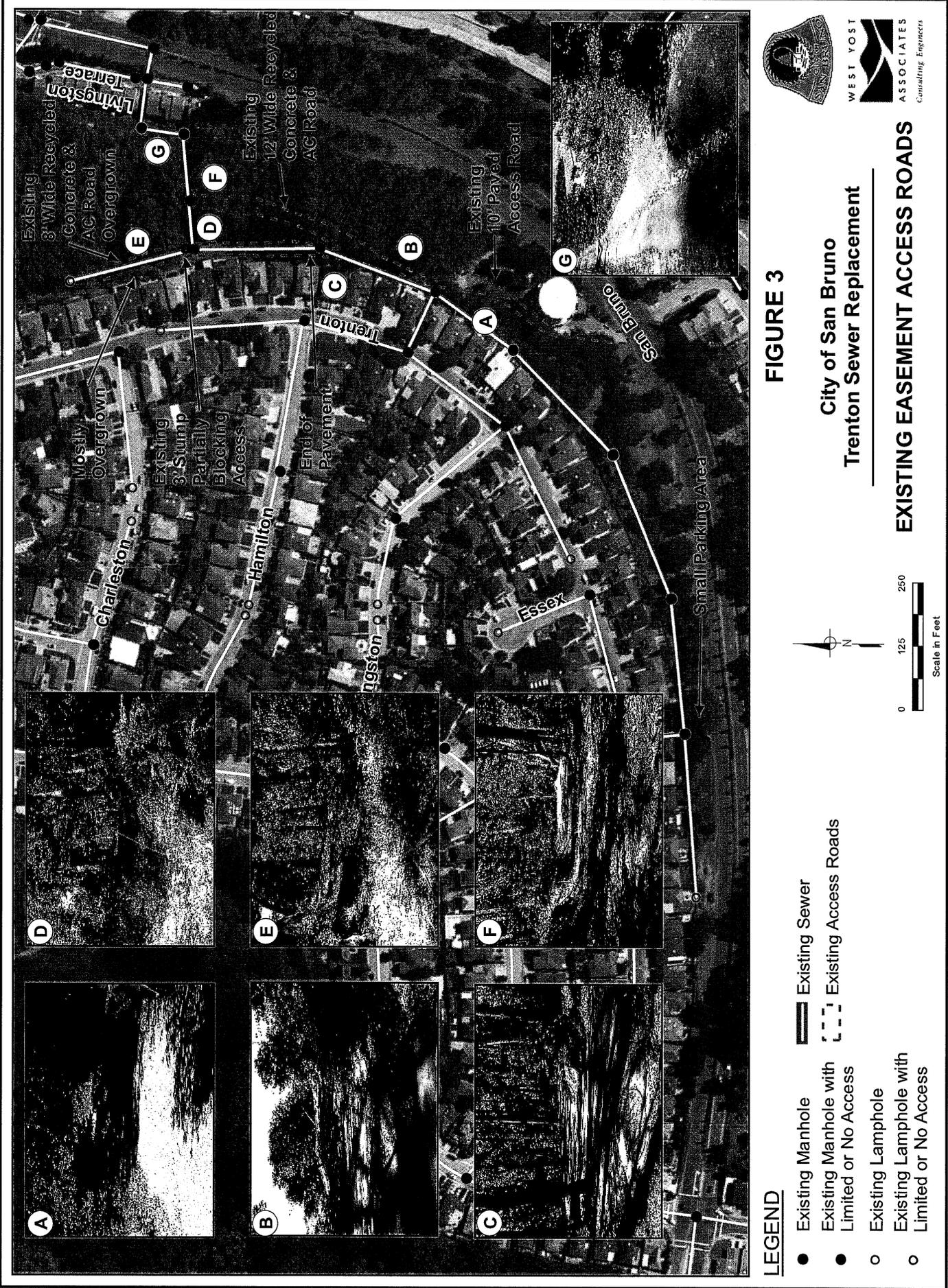
Scale in Feet

**FIGURE 2**

**City of San Bruno**  
**Trenton Sewer Replacement**  
**CONDITION ASSESSMENT OF**  
**EXISTING SEWER SYSTEM**



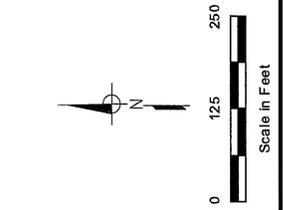
**WEST YOST**  
**ASSOCIATES**  
 Consulting Engineers





**FIGURE 4**  
**City of San Bruno**  
**Trenton Sewer Replacement**

**EXISTING MANHOLES**

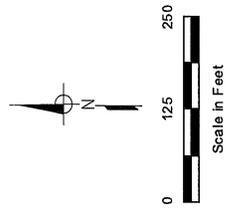


- LEGEND**
- Existing Manhole
  - Existing Manhole with Limited or No Access
  - Existing Lamphole
  - Existing Lamphole with Limited or No Access
  - ▬ Existing Sewer





**FIGURE 5**  
**City of San Bruno**  
**Trenton Sewer Replacement**  
**ALTERNATIVES 1 AND 2 - CIPP OR**  
**PIPEBURST EXISTING SEWER**



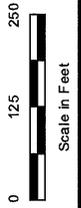
**LEGEND**

- Existing Manhole
- Existing Manhole with Limited or No Access
- Existing Manhole with Limited or No Access
- ▬ Existing Sewer
- ▬ CIPP or Pipeburst Sewer
- Spot Repairs
- Existing Lamphole
- Existing Lamphole with Limited or No Access



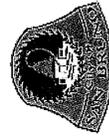
**LEGEND**

- Existing Manhole
- Existing Manhole with Limited or No Access
- Existing Lamphole
- Existing Lamphole with Limited or No Access
- ▬ Existing Sewer
- ▬ Abandon Existing Sewer
- ▬ New Sewer
- New Manhole



**FIGURE 6**

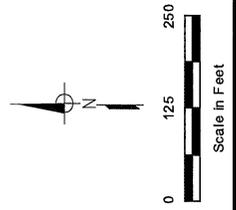
**City of San Bruno**  
**Trenton Sewer Replacement**  
**ALTERNATIVE 3 - RELOCATE TRENTON SEWER WITH SINGLE DISCHARGE POINT**



**WEST YOST ASSOCIATES**  
 Consulting Engineers



**FIGURE 7**  
**City of San Bruno**  
**Trenton Sewer Replacement**  
**ALTERNATIVE 4 - RELOCATE TRENTON SEWER WITH TWO DISCHARGE POINTS**



- LEGEND**
- Existing Manhole
  - Existing Manhole with Limited or No Access
  - Existing Lamphole
  - Existing Lamphole with Limited or No Access
  - ▬ Existing Sewer
  - ▬ Abandon Existing Sewer
  - ▬ New Sewer
  - New Manhole



**FIGURE 8**

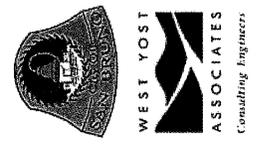
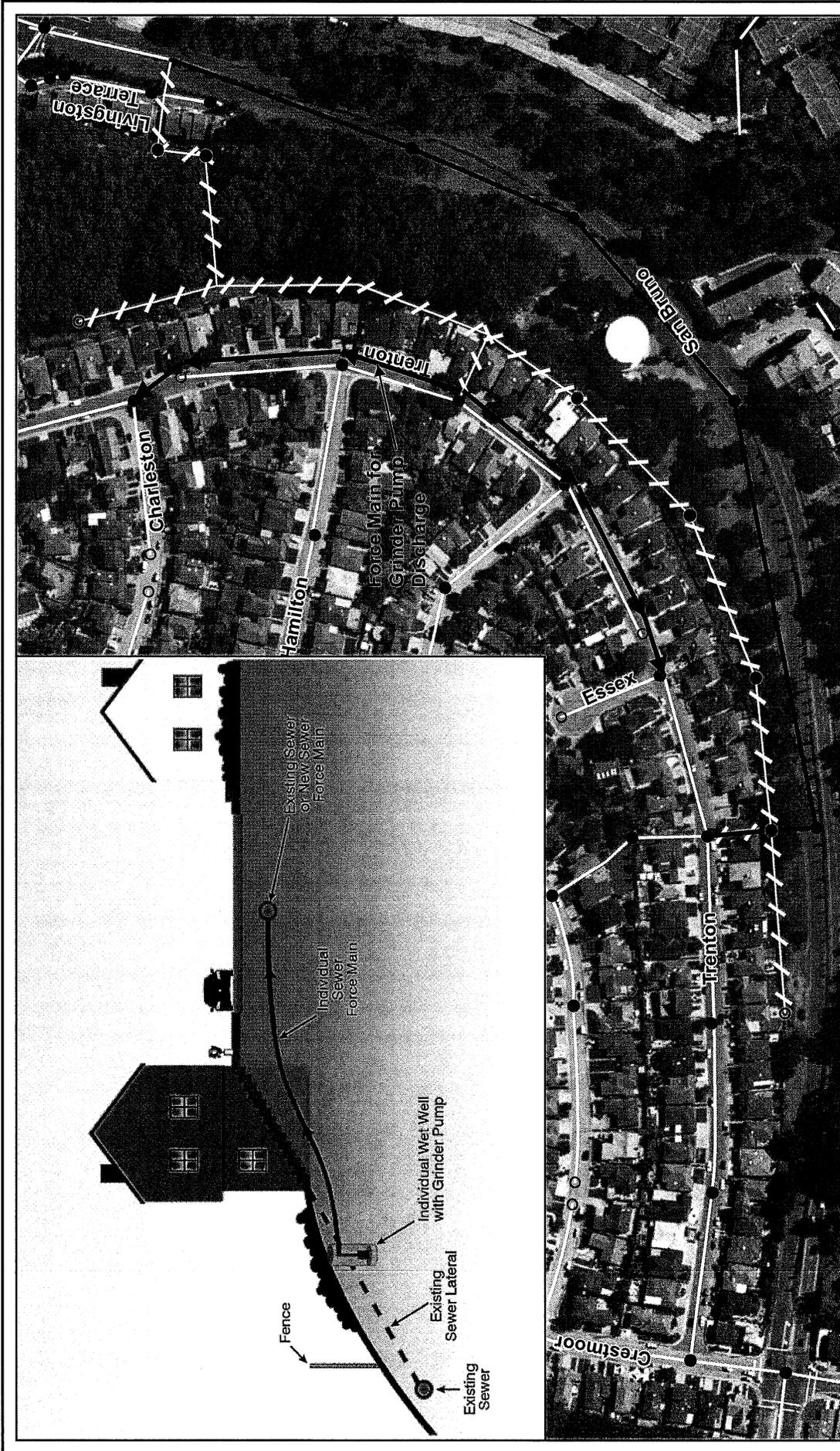
**City of San Bruno  
Trenton Sewer Replacement  
ALTERNATIVES 5A AND 5B  
HYBRID PROJECT**

**LEGEND**

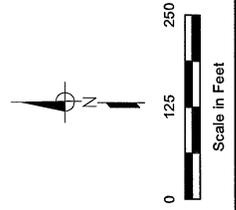
- Existing Manhole
- Existing Manhole with Limited or No Access
- Existing Lamphole
- Existing Lamphole with Limited or No Access
- ▬ Existing Sewer
- ▬ To be Abandoned
- ▬ CIPP
- ▬ CIPP or Pipeburst
- ▬ Open Cut or HDD
- ▬ Open Cut or Pipeburst
- ▬ Pipeburst



Scale in Feet



**FIGURE 9**  
**City of San Bruno**  
**Trenton Sewer Replacement**  
**ALTERNATIVE 6**  
**INDIVIDUAL GRINDER PUMPS**



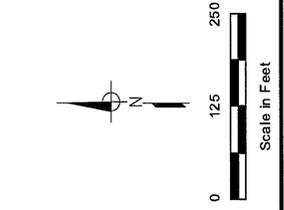
- LEGEND**
- Existing Manhole
  - Existing Manhole with Limited or No Access
  - Existing Lamphole
  - Existing Lamphole with Limited or No Access
  - ▬ Existing Sewer
  - ▬ Abandon Existing Sewer
  - New Sewer
  - New Manhole
  - ← Force Main



**FIGURE 10**

**City of San Bruno  
Trenton Sewer Replacement**

**PROPOSED PERMANENT  
ACCESS ROADS**



**LEGEND**

- Existing Manhole
- Existing Manhole with Limited or No Access
- Existing Lamphole
- Existing Lamphole with Limited or No Access
- ▬ Existing Sewer
- - - Proposed Access Roads



# **APPENDIX A**

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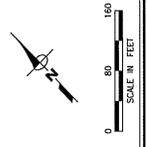
Preliminary Profile Drawings  
for Alternatives 3 & 4

DRAFT

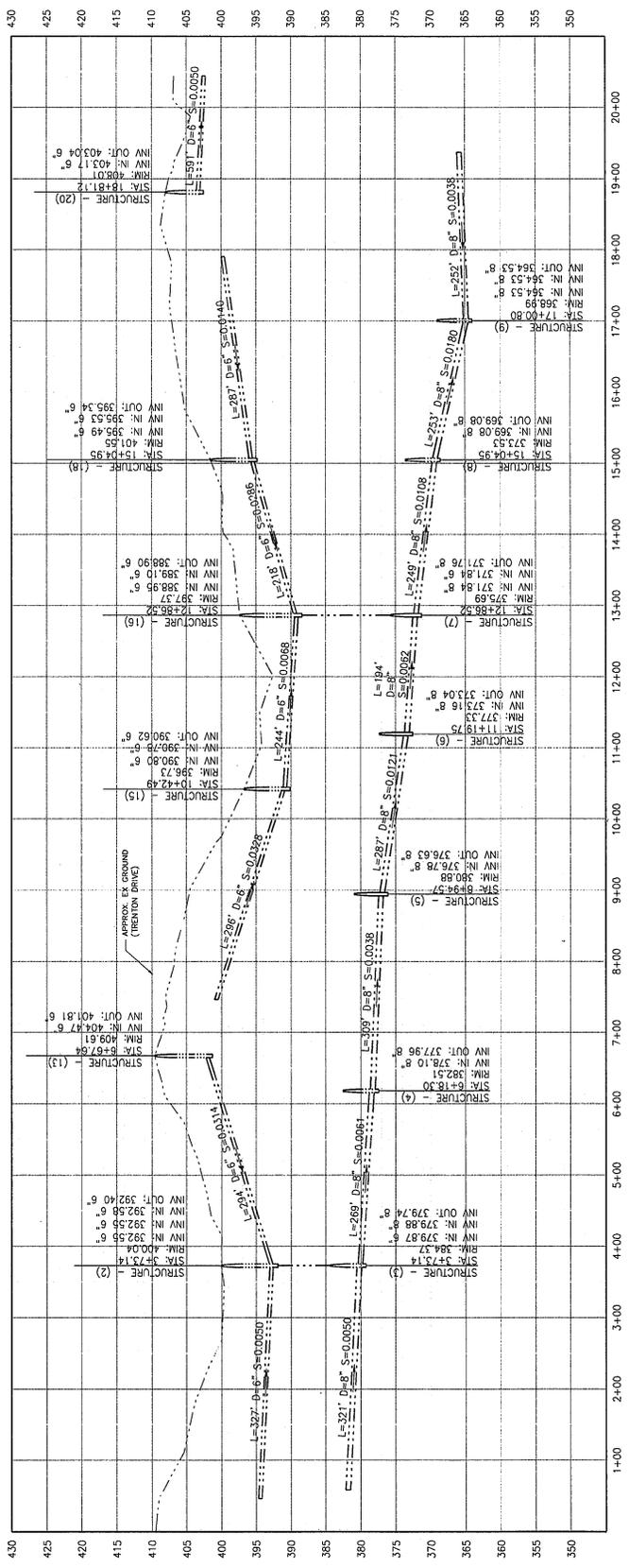


N:\Clients\462 City of San Bruno\02-13 06 Trenton Sewer\CAD\Figures\Exhibit A-B Existing Sewer.dwg 7/3/2013 3:52 PM Interim

**EXHIBIT A**  
 City of San Bruno  
 Trenton Drive Sanitary Sewer  
 Replacement Project  
 EXISTING SEWER PLAN



**EXHIBIT B**  
City of San Bruno  
Trenton Drive Sanitary Sewer  
Replacement Project  
**EXISTING SEWER PROFILE**

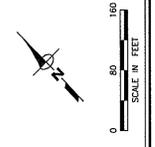




**LEGEND**

--- ABANDON EXISTING SEWER

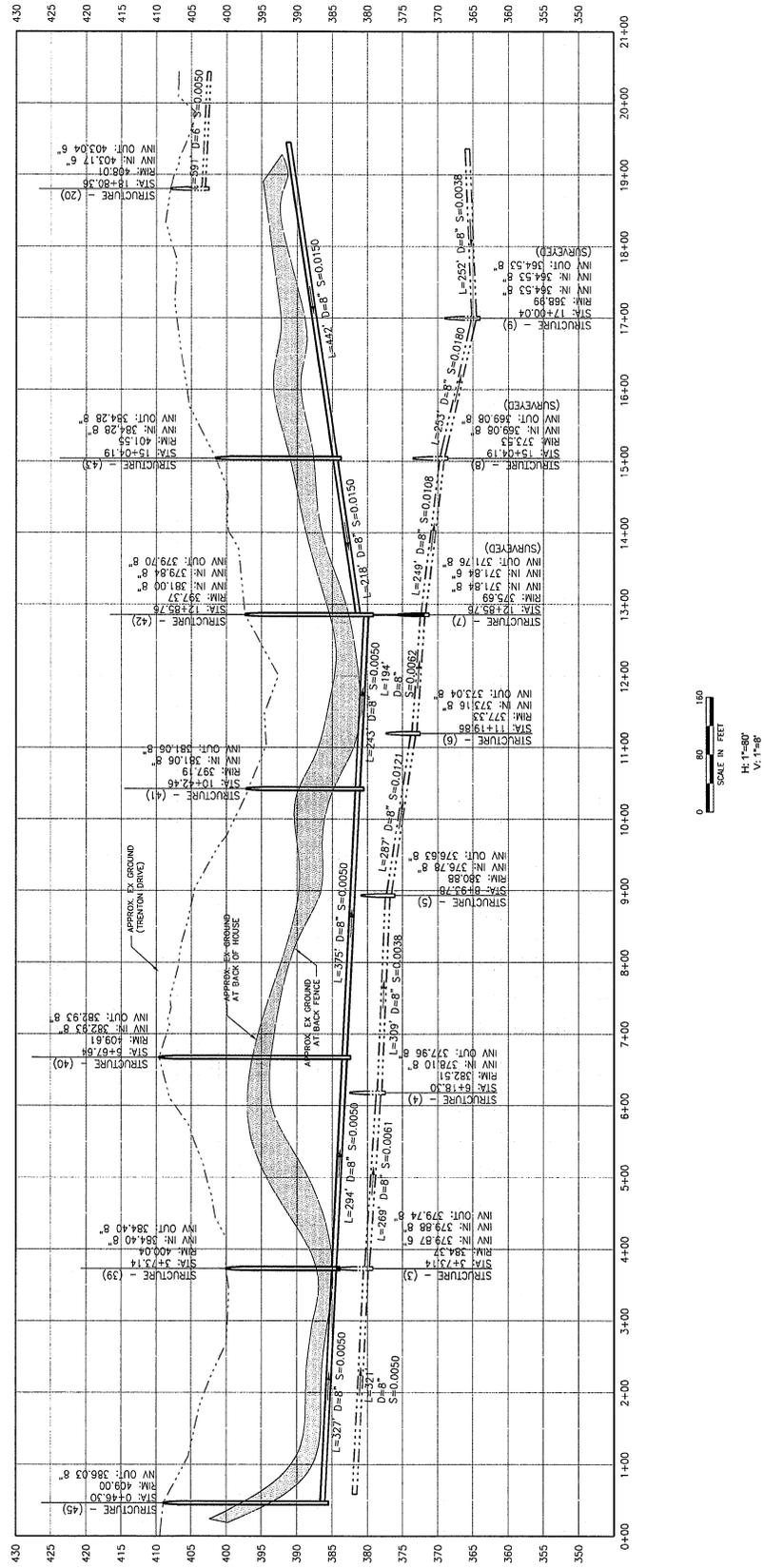
**ALTERNATIVE 3**  
**RELOCATE SEWER FROM**  
**EASEMENT TO TRENTON DRIVE**  
**WITH SINGLE DISCHARGE POINT**



**EXHIBIT C**  
**City of San Bruno**  
**Trenton Drive Sanitary Sewer**  
**Replacement Project**  
**ALTERNATIVE 3 PLAN**



EXHIBIT D  
City of San Bruno  
Trenton Drive Sanitary Sewer  
Replacement Project  
ALTERNATIVE 3 PROFILE

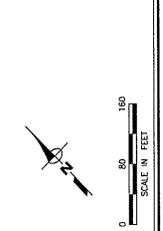


- LEGEND**
- REPRESENTS APPROX. ELEVATION DIFFERENCE BETWEEN GROUND AT BACK OF HOUSE AND BACK FENCE
  - EXISTING SEWER IN EASEMENT
  - POSSIBLE RELOCATED SEWER IN TRENTON DRIVE

NOTE: FOR CLARITY, THE EXISTING SEWER IN TRENTON DRIVE IS NOT SHOWN



**EXHIBIT E**  
 City of San Bruno  
 Trenton Drive Sanitary Sewer  
 Replacement Project  
 ALTERNATIVE 4 PLAN

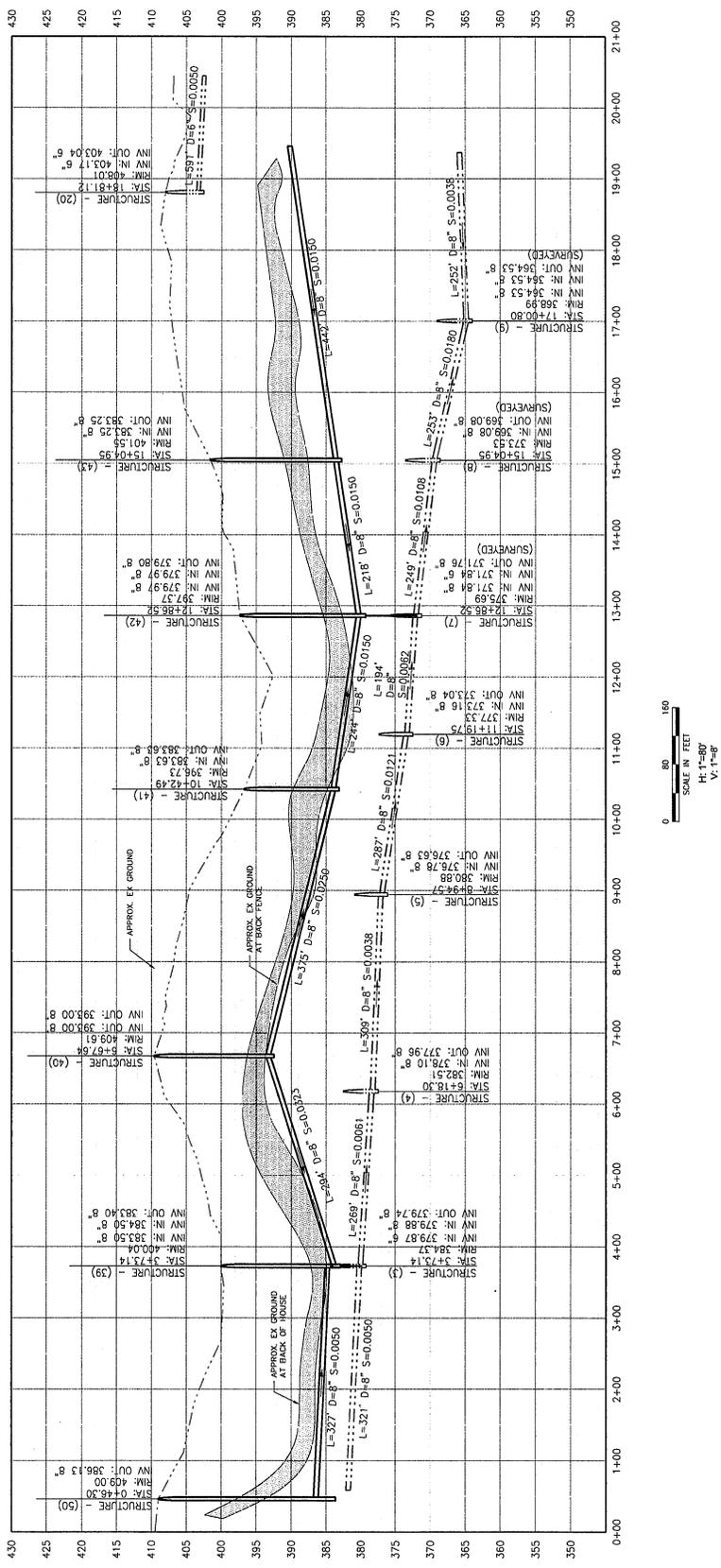


**ALTERNATIVE 4**  
 RELOCATE SEWER FROM  
 EASEMENT TO TRENTON DRIVE  
 WITH TWO DISCHARGE POINTS

**LEGEND**  
 - - - - -  
 ABANDON EXISTING SEWER



**EXHIBIT F**  
City of San Bruno  
Trenton Drive Sanitary Sewer  
Replacement Project  
ALTERNATIVE 4 PROFILE



**LEGEND**

REPRESENTS APPROX. ELEVATION DIFFERENCE BETWEEN GROUND AT BACK OF HOUSE AND BACK FENCE

EXISTING SEWER IN EASEMENT

POSSIBLE RELOCATED SEWER IN TRENTON DRIVE

NOTE: FOR CLARITY, THE EXISTING SEWER IN TRENTON DRIVE IS NOT SHOWN

## **APPENDIX B**

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Cost Estimates

DRAFT

Alternative 1 - CIPP Existing Mains				
Description	Quantity	Unit	Unit Cost	Total
Mobilization	1	LS	\$ 35,000	\$ 35,000
Shoring	1	LS	\$ 5,000	\$ 5,000
Spot Repairs	3	EA	\$ 10,000	\$ 30,000
Cut In new Wye	40	EA	\$ 500	\$ 20,000
Reconnect Lateral	40	EA	\$ 2,500	\$ 100,000
CIPP 8"	2448	LF	\$ 85	\$ 208,080
Reconnect Lateral	40	EA	\$ 500	\$ 20,000
Bypass pumping	1	LS	\$ 25,000	\$ 25,000
Permanent Access Road	16300	SF	\$ 10	\$ 163,000
Retaining Walls	60	CY	\$ 700	\$ 42,000
Repair/Raise Structure to Grade	12	EA	\$ 5,000	\$ 60,000
<b>Total</b>				<b>\$ 708,080</b>
Contingency			30%	\$ 212,424
			<b>Total</b>	<b>\$ 920,504</b>

Alternative 2 - Pipeburst Existing Mains				
Description	Quantity	Unit	Unit Cost	Total
Mobilization	1	LS	\$ 38,000	\$ 38,000
Shoring	1	LS	\$ 10,000	\$ 10,000
Spot Repairs	3	EA	\$ 10,000	\$ 30,000
Pipeburst 8"	2865	LF	\$ 100	\$ 286,500
Repair Channel at Livingston Terrace	100	LF	\$ 60	\$ 6,000
Construct New Lateral	40	EA	\$ 2,500	\$ 100,000
Bypass Pumping	1	LS	\$ 25,000	\$ 25,000
Permanent Access Road	16300	SF	\$ 10	\$ 163,000
Retaining Walls	60	CY	\$ 700	\$ 42,000
Repair/Raise Structure to Grade	12	EA	\$ 5,000	\$ 60,000
<b>Total</b>				<b>\$ 760,500</b>
Contingency			30%	\$ 228,150
			<b>Total</b>	<b>\$ 988,650</b>

### Alternative 3 - Relocate Main into Trenton Road with Single Discharge Point

Description	Quantity	Unit	Unit Cost	Total
Mobilization	1	LS	\$ 87,000	\$ 87,000
Traffic Control in San Bruno	5	Days	\$ 1,500	\$ 7,500
Shoring	1	LS	\$ 25,000	\$ 25,000
8" Sewer in Trenton (<15' deep)	1350	LF	\$ 250	\$ 337,500
8" Sewer in Trenton (>15' deep)	650	LF	\$ 300	\$ 195,000
8" Sewer in Easement	250	LF	\$ 150	\$ 37,500
8" Sewer in San Bruno Ave	770	LF	\$ 200	\$ 154,000
MH (<15' deep)	4	EA	\$ 7,000	\$ 28,000
MH (>15' deep)	6	EA	\$ 10,000	\$ 60,000
Rodding Inlet	1	EA	\$ 5,000	\$ 5,000
Reconnect Lateral Trenton (homes to north)	29	EA	\$ 2,500	\$ 72,500
Reroute Lateral from Backyard	40	EA	\$ 18,000	\$ 720,000
Bypass pumping Trenton	1	LS	\$ 10,000	\$ 10,000
Abandon Sewer in Easement	1	LS	\$ 5,000	\$ 5,000
Temporary Access Road (for Lateral Replacement)	16300	SF	\$ 2	\$ 32,600
<b>Total</b>				<b>\$ 1,776,600</b>
Contingency			30%	\$ 532,980
			<b>Total</b>	<b>\$ 2,309,580</b>

### Alternative 4 - Relocate Main into Trenton Road with Two Discharge Points

Description	Quantity	Unit	Unit Cost	Total
Mobilization	1	LS	\$ 100,000	\$ 100,000
Traffic Control in San Bruno	13	Days	\$ 1,500	\$ 19,500
Shoring	1	LS	\$ 25,000	\$ 25,000
8" Sewer in Trenton (<15' deep)	1350	LF	\$ 250	\$ 337,500
8" Sewer in Trenton (>15' deep)	650	LF	\$ 300	\$ 195,000
8" Sewer in Easement	250	LF	\$ 150	\$ 37,500
8" Sewer in San Bruno Ave	1970	LF	\$ 200	\$ 394,000
MH (<15' deep)	9	EA	\$ 7,000	\$ 63,000
MH (>15' deep)	4	EA	\$ 10,000	\$ 40,000
Rodding Inlet	1	EA	\$ 5,000	\$ 5,000
Reconnect Lateral Trenton (homes to north)	29	EA	\$ 2,500	\$ 72,500
Reroute Lateral from Backyard	40	EA	\$ 18,000	\$ 720,000
Bypass pumping Trenton	1	LS	\$ 10,000	\$ 10,000
Abandon Sewer in Easement	1	LS	\$ 5,000	\$ 5,000
Temporary Access Road (for Lateral Replacement)	16300	SF	\$ 2	\$ 32,600
<b>Total</b>				<b>\$ 2,056,600</b>
Contingency			30%	\$ 616,980
			<b>Total</b>	<b>\$ 2,673,580</b>

<b>Alternative 5 - Hybrid Project Option A</b>				
Description	Quantity	Unit	Unit Cost	Total
Mobilization	1	LS	\$ 39,000	\$ 39,000
Spot Repairs	3	EA	\$ 10,000	\$ 30,000
CIPP	408	LF	\$ 85	\$ 34,680
Pipeburst 8"	1,656	LF	\$ 100	\$ 165,600
Open Cut	751	LF	\$ 150	\$ 112,650
Repair Channel at Livingston Terrace	100	LF	\$ 60	\$ 6,000
Construct New Lateral	40	EA	\$ 2,500	\$ 100,000
Bypass Pumping	1	LS	\$ 25,000	\$ 25,000
Permanent Access Road	16,300	SF	\$ 10	\$ 163,000
Retaining Walls	60	CY	\$ 700	\$ 42,000
Repair/Raise Structure to Grade	12	EA	\$ 5,000	\$ 60,000
Temporary Access Road (to Livingston Terrace)	250	SF	\$ 2	\$ 500
<b>Total</b>				<b>\$ 778,430</b>
Contingency			30%	\$ 233,529
			<b>Total</b>	<b>\$ 1,011,959</b>

<b>Alternative 5 - Hybrid Project Option B</b>				
Description	Quantity	Unit	Unit Cost	Total
Mobilization	1	LS	\$ 41,000	\$ 41,000
Traffic Control in San Bruno	2	Days	\$ 1,500	\$ 3,000
Spot Repairs	3	EA	\$ 10,000	\$ 30,000
CIPP	293	LF	\$ 85	\$ 24,905
Pipeburst 8"	1,656	LF	\$ 100	\$ 165,600
Open Cut	829	LF	\$ 150	\$ 124,350
8" Sewer in San Bruno Avenue	153	LF	\$ 200	\$ 30,600
MH (<15' deep)	1	EA	\$ 7,000	\$ 7,000
Repair Channel at Livingston Terrace	100	LF	\$ 60	\$ 6,000
Construct New Lateral	40	EA	\$ 2,500	\$ 100,000
Bypass Pumping	1	LS	\$ 25,000	\$ 25,000
Permanent Access Road	16,300	SF	\$ 10	\$ 163,000
Retaining Walls	60	CY	\$ 700	\$ 42,000
Repair/Raise Structure to Grade	12	EA	\$ 5,000	\$ 60,000
Temporary Access Road (to Livingston Terrace)	250	SF	\$ 2	\$ 500
<b>Total</b>				<b>\$ 822,955</b>
Contingency			30%	\$ 246,887
			<b>Total</b>	<b>\$ 1,069,842</b>

<b>Alternative 6</b>				
Description	Quantity	Unit	Unit Cost	Total
Mobilization	1	LS	\$ 56,000	\$ 56,000
Install Individual Grinder Pump	40	EA	\$ 8,000	\$ 320,000
Construct Lateral from Backyard	40	EA	\$ 3,000	\$ 120,000
Construct Force mains in Trenton	1500	LF	\$ 100	\$ 150,000
8" Sewer in San Bruno Avenue	1970	LF	\$ 200	\$ 394,000
MH (<15' deep)	4	EA	\$ 7,000	\$ 28,000
8" Sewer in Easement	50	LF	\$ 150	\$ 7,500
CIPP	100	LF	\$ 85	\$ 8,500
Temporary Access Road (for force main laterals)	16300	SF	\$ 2	\$ 32,600
<b>Total</b>				<b>\$ 1,116,600</b>
Contingency			30%	\$ 334,980
			<b>Total</b>	<b>\$ 1,451,580</b>



City Council Agenda Item  
Staff Report

CITY OF SAN BRUNO

DATE: October 22, 2013

TO: Honorable Mayor and Members of the City Council

FROM: Klara A. Fabry, Public Services Director

SUBJECT: Adopt Resolution Approving Installation of New Stop Signs:

- on the Eastern Leg of Angus Avenue at Huntington Avenue
- on the Western Leg of Angus Avenue at First Avenue
- on the Northern and Southern Legs of San Mateo Avenue at Huntington Avenue

**BACKGROUND:**

The Joint Powers Board (JPB) commenced construction on the San Bruno Grade Separation Project in late 2010. This project provides elevated train tracks above San Bruno Avenue, San Mateo Avenue and Angus Avenue, provides three pedestrian underpasses and creates a new train station on San Bruno Avenue between San Mateo Avenue and Huntington Avenue. Once complete, this project will significantly improve safety and will reduce traffic congestion near the train tracks.

After the JPB started train services on the new elevated grade separation on May 26, 2013, some of the City roadway configurations were modified to improve the roadway network and traffic circulation. Specifically, Angus Avenue between First Avenue and Huntington Avenue and the southern intersection of San Mateo Avenue and Huntington Avenue have been realigned to improve traffic flow and safety.

The Traffic Safety and Parking Committee recommended the new stop sign installation at their October 3, 2013 meeting and supported the recommendation with no comments or concerns raised.

**DISCUSSION:**

Angus Avenue

Angus Avenue is a two-lane local street that generally runs east-west through local residential neighborhoods. Prior to the San Bruno Grade Separation Project, the eastbound and westbound traffic on Angus Avenue were free flowing between First Avenue and Huntington Avenue when the rail crossing arms were up. Before the JPB began train services on the new elevated rail tracks, Angus Avenue was reconfigured. The two offset intersections at First Avenue were realigned to create a continuous Angus Avenue between Huntington Avenue and First Avenue. Based on a traffic impact analysis prepared by the JPB for the San Bruno Grade Separation Project, the traffic volume and roadway characteristics warrant new stop signs on the eastern leg of Angus Avenue at Huntington Avenue and on the western leg of Angus Avenue at First Avenue. The proposed new stop signs will create a four-way stop controlled intersection at Angus Avenue and Huntington Avenue, and at Angus Avenue and First Avenue to improve safety.

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San Mateo Avenue/Huntington Avenue

San Mateo Avenue south of Huntington Avenue is a two-lane local street that generally runs northwest-southeast, parallel to the Caltrain rail tracks. As part of the San Bruno Grade Separation Project, the southern intersection of Huntington Avenue and San Mateo Avenue was realigned so that Huntington Avenue would intersect San Mateo Avenue closer to a right angle and aligned with Kains Avenue. The realignment also provided the necessary space for the future Posy Park just north of the intersection. Based on a traffic impact analysis prepared for the project, the traffic volume and roadway characteristics warrant a four-way stop controlled intersection at this location. The proposed stop signs are on the northern and southern legs of San Mateo Avenue at Huntington Avenue, which will create a four-way stop controlled intersection at south San Mateo Avenue and Huntington Avenue.

**FISCAL IMPACT:**

The JPB will install the necessary new stop signs and pavement markings as part of the San Bruno Grade Separation Project at no cost to the City.

**ALTERNATIVES:**

1. Do not approve the stop sign installation.
2. Direct staff to implement only one or more of the additional traffic mitigation measures.

**RECOMMENDATION:**

Adopt resolution approving establishing stop controlled intersections at Angus Avenue and at Huntington Avenue.

**DISTRIBUTION:**

None

**ATTACHMENTS:**

1. Resolution
2. Location Maps

**DATE PREPARED:**

September 30, 2013

**REVIEWED BY:**

\_\_\_\_\_ CM

RESOLUTION NO. 2013 - \_\_\_\_

**RESOLUTION APPROVING INSTALLATION OF NEW STOP SIGNS:**

- **ON THE EASTERN LEG OF ANGUS AVENUE AT HUNTINGTON AVENUE**
- **ON THE WESTERN LEG OF ANGUS AVENUE AT FIRST AVENUE**
- **ON THE NORTHERN AND SOUTHERN LEGS OF SAN MATEO AVENUE AT HUNTINGTON AVENUE**

**WHEREAS**, the Joint Powers Board (JPB) commenced construction on the San Bruno Grade Separation Project in late 2010; and

**WHEREAS**, After the JPB began train services on the new elevated grade separation on May 26, 2013, some of the City roadway configurations were modified to improve the roadway network and traffic circulation; and

**WHEREAS**, Angus Avenue between First Avenue and Huntington Avenue and the southern intersection of San Mateo Avenue and Huntington Avenue have been realigned; and

**WHEREAS**, the traffic impact analysis, prepared for the San Bruno Grade Separation Project, specified that the traffic volume and roadway characteristics warrant new stop signs on the eastern leg of Angus Avenue at Huntington Avenue and on the western leg of Angus Avenue at First Avenue; and

**WHEREAS**, the traffic impact analysis, prepared for the project, specified that the traffic volume and roadway characteristics warrant new stop stops on the northern and southern legs of San Mateo Avenue at Huntington Avenue; and

**WHEREAS**, the JPB will install the necessary new stop signs and pavement markings as part of the San Bruno Grade Separation Project at no cost to the City.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of San Bruno approves the installation of new stop signs:

- on the eastern leg of Angus Avenue at Huntington Avenue
- on the western leg of Angus Avenue at First Avenue
- on the northern and southern legs of San Mateo Avenue at Huntington Avenue.

Dated: October 8, 2013

ATTEST:

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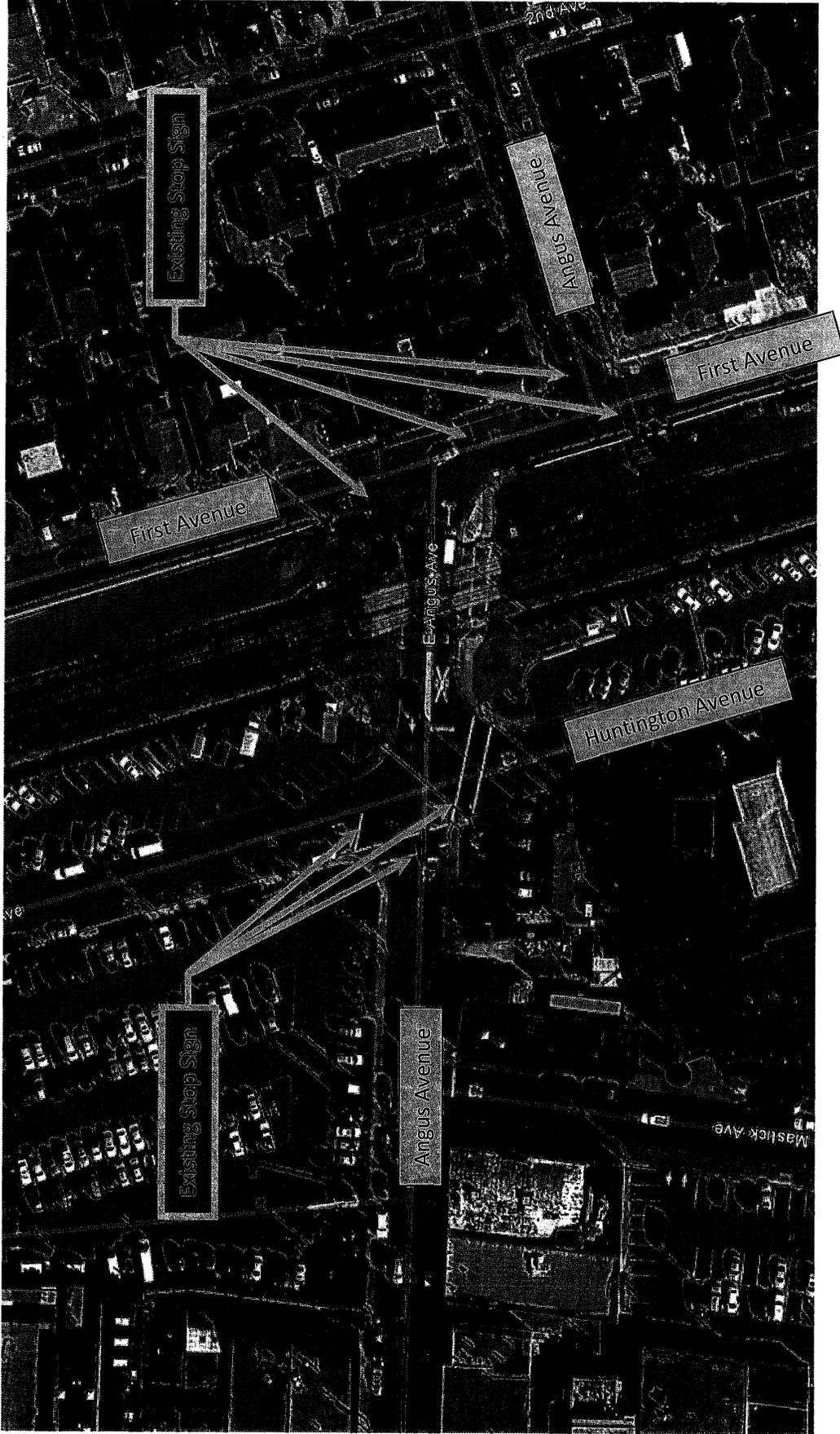
Carol Bonner, City Clerk

I, Carol Bonner, City Clerk, do hereby certify that the foregoing Resolution was duly and regularly passed and adopted by the City Council of the City of San Bruno this 8<sup>th</sup> day of October 2013 by the following vote:

AYES: Councilmembers: \_\_\_\_\_  
NOES: Councilmembers \_\_\_\_\_  
ABSENT: Councilmembers: \_\_\_\_\_

Location Map

Angus Avenue Intersection Configuration Prior to the San Bruno Grade Separation Project



Location Map

Angus Avenue Intersection Configuration After to the San Bruno Grade Separation Project



Location Map

Huntington Avenue Intersection Configuration Prior to the San Bruno Grade Separation Project



Location Map  
Huntington Avenue Intersection Configuration After to the San Bruno Grade Separation Project





**City Council Agenda Item  
Staff Report**

CITY OF SAN BRUNO

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DATE: October 22, 2013

TO: Honorable Mayor and Members of the City Council

FROM: Harry Burrowes, P.E. – Project Manager, Crestmoor Reconstruction

SUBJECT: Adopt Resolution Approving a Sanitary Sewer Lateral Replacement Program in the Crestmoor Neighborhood

**BACKGROUND:**

At the August 27, 2013 City Council meeting, staff presented background related to the sanitary sewer system and lateral replacement in the Crestmoor Neighborhood. A recommendation was made to adopt a Sanitary Sewer Lateral Replacement Program within the neighborhood consistent with the existing lateral replacement program within the City. Per the direction of City Council, staff was asked to evaluate the proposed lateral replacement program and return with a revised program that offered additional financial benefit to residents wishing to replace their upper sewer laterals. The purpose of this item is to present revised recommendations and seek approval from City Council to implement a sewer lateral replacement assistance program in the Crestmoor Neighborhood.

**DISCUSSION:**

As was presented in detail on August 27, 2013 (see attached staff report), many of the upper sanitary sewer laterals within the Crestmoor Neighborhood are in need of replacement due to their age, physical condition, and type of material. Replacement of the “private” portion of the upper laterals provides not only a benefit to the property owner but also to the City’s public system by reducing the possibility of sanitary sewer overflows (SSO’s) and limiting the amount of inflow and infiltration. Recognizing this, many Cities, including San Bruno, have implemented sewer lateral replacement programs to offer financial assistance to residents who elect to replace their upper sewer laterals. These programs recognize and accept that there is substantial public benefit in the replacement of upper laterals.

Staff presented a recommendation to City Council that offered financial assistance to reimburse the property owner for 50% of the cost of the lateral replacement up to a maximum amount of \$1,700. This dollar amount was equal to the grant program that was established in the Rollingwood basin as a result of negotiation with the Regional Water Quality Control Board (RWQCB) as part of the City’s settlement with Baykeeper. At the time of these negotiations with RWQCB, the City recognized that this amount was likely not adequate to pay for 50% of the cost of the lateral replacement and tried to get this amount increased without success. Staff estimates that the cost to replace upper laterals, including

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surface restoration, in the Crestmoor neighborhood will range from \$5,000 to \$10,000+ depending upon their location.

Staff has performed additional research and analysis on some of the existing programs in the Bay Area and the unique circumstances in the Crestmoor neighborhood. This research indicates that the reimbursement amounts range from a low of \$1,500 (City of Novato) to \$5,000 (City of San Mateo) and most are for 50% of the cost. The conditions in the Crestmoor neighborhood are also somewhat different as many of these residents utilized one-time monies from PG&E available after the Line 132 explosion to replace or upgrade their driveways and landscaping. The replacement of the upper laterals will require repair of portions of these surface improvements that will increase the lateral replacement cost.

For reference, the table below illustrates the estimated costs of the upper sewer lateral replacement for the various situations that will be encountered in the neighborhood.

Lateral Location	No. of Homes	Sewer Lateral Replacement Cost	Surface Restoration Cost
Sewer lateral in yard area – minimum surface restoration	116	\$2,500 - \$5,000	\$0 - \$2,000
Sewer lateral in yard area – landscape and hardscape restoration required	18	\$3,000 - \$5,000	\$1,000 - \$5,000
Sewer lateral in driveway – concrete slab replacement	69	\$3,000 - \$6,000	\$250 - \$1,000
Sewer lateral in driveway – decorative concrete replacement	45	\$3,000 - \$6,000	\$1,000 - \$12,000
Sewer lateral in driveway – paver/stone replacement	32	\$3,000 - \$6,000	\$1,000 - \$5,000
Previously replaced laterals/cleanouts	41	\$3,000 - \$6,000	\$0 - \$12,000
Estates Drive resident (no upper lateral replacement, minor surface restoration for cleanouts)	15	\$ 0	\$250 - \$2,000

Additionally, on September 26, 2013, staff held a meeting with interested members of the Crestmoor neighborhood to discuss the lateral replacement program. Residents were reminded that replacement of their laterals is not a requirement of the City (unless they are in such poor shape that they are no longer functional) as part of the Crestmoor Reconstruction project. The majority of residents at this meeting indicated that the previous proposal, matching the existing program, was inadequate to replace their laterals. While some residents expressed their appreciation to the City for considering any program, their desire was for a realistic reimbursement amount, preferably covering the entire lateral replacement cost.

Another factor that the City Council may wish to include in their decision making process is one of the requirements of the City's settlement with Baykeeper, negotiated with the RWQCB. The agreement requires the City Manager to bring an ordinance to the City Council for consideration by February 2014 that would institute a "due on sale" cause to repair or replace Orangeburg sewer laterals. It would require the seller of the house to have an inspection of the sewer lateral performed, and if found to be Orangeburg pipe that is not functioning to the satisfaction of the City (i.e, root intrusion, collapse, leaks, etc.), replaced as part of the home sale.

Considering the cost estimates for the various conditions that could be encountered in the neighborhood, a reimbursement of \$6,000 is a reasonable amount to fully cover the lateral replacement cost and some surface restoration in most instances.

Based upon feedback from the residents from the September 26<sup>th</sup> resident meeting as well as the greater estimated construction costs for replacement of upper laterals in the Crestmoor neighborhood, staff offers the following replacement program options for the 336 homes potentially eligible to participate.

### **Crestmoor Neighborhood Sewer Lateral Replacement Program**

#### Option 1 – 50% Reimbursement up to \$6,000 Maximum

- Any resident wishing to replace their private upper lateral concurrent with the City's ongoing Phase III project in construction now, will be eligible for reimbursement of up to one-half of the lateral replacement cost, including surface restoration, not to exceed a total of \$6,000.
- Any resident who will replace their private upper lateral prior to the completion of the last phase of the overall Crestmoor Reconstruction project in the neighborhood (prior to January 1, 2015) will be eligible for reimbursement of up to one-half of the lateral replacement cost, including surface restoration, not to exceed a total of \$6,000.

#### Option 2 – Full Reimbursement of Costs up to \$6,000 Maximum

- Any resident wishing to replace their private upper lateral concurrent with the City's ongoing Phase III project in construction now, will be eligible for reimbursement of the lateral replacement cost, including surface restoration, not to exceed a total of \$6,000.
- Any resident who will replace their private upper lateral prior to the completion of the last phase of the overall Crestmoor Reconstruction project in the neighborhood (prior to January 1, 2015) will be eligible for reimbursement of the lateral replacement cost, including surface restoration, not to exceed a total of \$6,000.

#### Option 3 – Reimbursement of 100 % of Lateral Cost Including Surface Restoration

- Any resident wishing to replace their private upper lateral concurrent with the City's ongoing Phase III project in construction now, will be eligible for 100% reimbursement of the lateral replacement cost, including surface restoration.
- Any resident who will replace their private upper lateral prior to the completion of the last phase of the overall Crestmoor Reconstruction project in the neighborhood (prior to January 1, 2015) will be eligible for 100% reimbursement of the lateral replacement cost, including surface restoration.

Option 4 – 50% Reimbursement & 50% Loan

- The City will reimburse any residents for 50% of the lateral replacement cost consistent with Option 1 described above.
- In the event that the resident does not have adequate means to pay the unreimbursed share (50%) of the replacement costs, the City shall offer the resident a loan in the amount of the unreimbursed amount (not to exceed \$6,000). The loan shall have the following terms:
  - Zero percent interest
  - 48 month term (\$125/month for \$6,000 loan)
  - Secured by a recorded lien on the property
- Funding for the loan could be obtained via the Trust Fund subject to discussion with the Trustee.

Any loan program would carry some associated management and administration expense. Additionally, the possibility exists that some residents may default and/or be delinquent in payment. The recorded lien on the property would provide some security to the City in this event.

Requirements for All Options

All sewer lateral replacement shall be performed by licensed private contractors (not the City's reconstruction contractor) and shall be paid directly by the resident. Residents seeking reimbursement of the lateral costs shall submit detailed receipts from contractors for the work performed to the City.

The homes that have been reconstructed since the September 9, 2010 event are not included in the proposed sewer lateral program as it is assumed that those residents have been adequately reimbursed by PG&E or others as part of their home reconstruction.

Staff Recommendation

Based upon the City's past practice, an analysis of other similar programs throughout the Bay Area, and the unique circumstances and additional costs in the Crestmoor Neighborhood, staff recommends that the City Council adopt Option No. 2 for the replacement of the upper sewer laterals within the Crestmoor Neighborhood.

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**FISCAL IMPACT:**

The cost of television inspection of the sewer laterals and providing cleanouts to each home within the Crestmoor Reconstruction project are included in the project costs and were a part of the recently awarded Phase III construction contract to JMB Construction.

The total maximum estimated costs of the sewer replacement options are:

- Option 1 – \$1,351,000
- Option 2 – \$2,016,000
- Option 3 – \$3,159,000
- Option 4 – \$2,106,000 + loan

If all eligible residents took advantage a proposed loan program (Option 4), an additional maximum amount of \$2,016,000 would be borrowed from the trust fund and be reimbursed as the loans are repaid.

Costs for the lateral reimbursement would be covered through the City's Trust Agreement funded by PG&E.

**ALTERNATIVES:**

1. Direct staff to proceed with sewer lateral replacement for the Phase III project consistent with the previous work within the Crestmoor neighborhood with no financial assistance to residents who replace their private laterals.

**RECOMMENDATION:**

Adopt Resolution Approving a Sanitary Sewer Lateral Replacement Program in the Crestmoor Neighborhood

**ATTACHMENTS:**

1. Staff Report from August 27, 2013
2. Resolution

**DISTRIBUTION:**

None

**DATE PREPARED:**

October 18, 2013

**REVIEWED BY:**

\_\_\_\_\_ CM

**RESOLUTION NO. 2013-\_\_\_**

**APPROVING A SANITARY SEWER LATERAL REPLACEMENT PROGRAM IN THE CRESTMOOR NEIGHBORHOOD**

**WHEREAS**, the September 9, 2010 Glenview fire caused significant damage to the public infrastructure in the Crestmoor (Glenview) neighborhood; and

**WHEREAS**, the repair and upgrade of that infrastructure is necessary to facilitate and support the rebuilding and occupancy of homes within the Crestmoor neighborhood; and

**WHEREAS**, certain water system, sewer system, and storm drainage upgrades and improvements are necessary to ensure the long term function of the utility systems; and

**WHEREAS**, the sewer system replacement involves the construction of new sewer laterals within the public streets and video inspection of the private sewer laterals that connect to the public system, and

**WHEREAS**, the video inspection of these sewer laterals may discover private pipes that are damaged or in need of repair, which may impact the integrity of the public sewer system, and

**WHEREAS**, the replacement of private sewer laterals helps to maintain the integrity and may avoid future sanitary sewer overflows, infiltration and inflow, and leaks within the public sewer system, and

**WHEREAS**, the City has a current financial assistance program to other residents to replace private sewer laterals in need of repair or replacement, and

**WHEREAS**, the residents of the Crestmoor Neighborhood have been uniquely affected by the PG&E gas explosion, in that 38 homes were destroyed and many dozens were damaged; and

**WHEREAS**, but for the disaster, few if any of the residents would have discovered any deficiencies in, or repaired or replaced their sewer laterals; and

**WHEREAS**, many residents of the Crestmoor neighborhood have rebuilt, repaired, and/or renovated their yards with new and upgraded materials, in areas located above old and potentially deteriorating sewer laterals;

**WHEREAS**, it would be an unexpected and unfair financial hardship for residents of the Crestmoor neighborhood to be required to replace their sewer laterals and then restore their new landscaping at their sole expense; and

**WHEREAS**, the Crestmoor Neighborhood private sanitary sewer lateral replacement assistance program shall allow the following:

- Any resident wishing to replace their private upper lateral concurrent with the City's ongoing Phase III project in construction now, will be

eligible for reimbursement of the lateral replacement cost, including surface restoration, not to exceed a total of \$6,000.

- Any resident who will replace their private upper lateral prior to the completion of the last phase of the overall Crestmoor Reconstruction project in the neighborhood (prior to January 1, 2015) will be eligible for reimbursement of the lateral replacement cost, including surface restoration, not to exceed a total of \$6,000.

**WHEREAS**, if all eligible residents of the Crestmoor Neighborhood participate in the private sanitary sewer replacement assistance program, the maximum amount of City financial assistance will be \$2,016,000, and

**WHEREAS**, all costs associated with this contract for repair and replacement of City property and infrastructure will be covered through the City's Trust Agreement with PG&E.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council hereby authorizes the City Manager to Implement a Sanitary Sewer Lateral Replacement Program in the Crestmoor Neighborhood in a Total Amount Not to Exceed \$2,016,000.



## City Council Agenda Item Staff Report

CITY OF SAN BRUNO

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DATE: August 27, 2013

TO: Honorable Mayor and Members of the City Council

FROM: Harry Burrowes, P.E. – Project Manager, Crestmoor Reconstruction

SUBJECT: Adopt Resolution Approving a Sanitary Sewer Lateral Replacement Program in the Crestmoor Neighborhood

### **BACKGROUND:**

The reconstruction of the infrastructure within the Crestmoor Neighborhood in the aftermath of the September 9, 2010 PG&E gas pipeline explosion and fire includes the replacement of the water mains and services, sanitary sewer main and sewer laterals within the public streets, new storm drain pipes, roadway and sidewalk reconstruction, and a new streetlight system. The replacement of the sanitary sewer system provides an opportunity for the residents to also replace the portion of the sewer lateral that is within their private property. However, there are many considerations that must be evaluated as part of the sewer lateral replacement. The purpose of this item is to outline these issues and seek direction from City Council on potential assistance to homeowners in the event they choose replacement of the private portion of the sewer lateral.

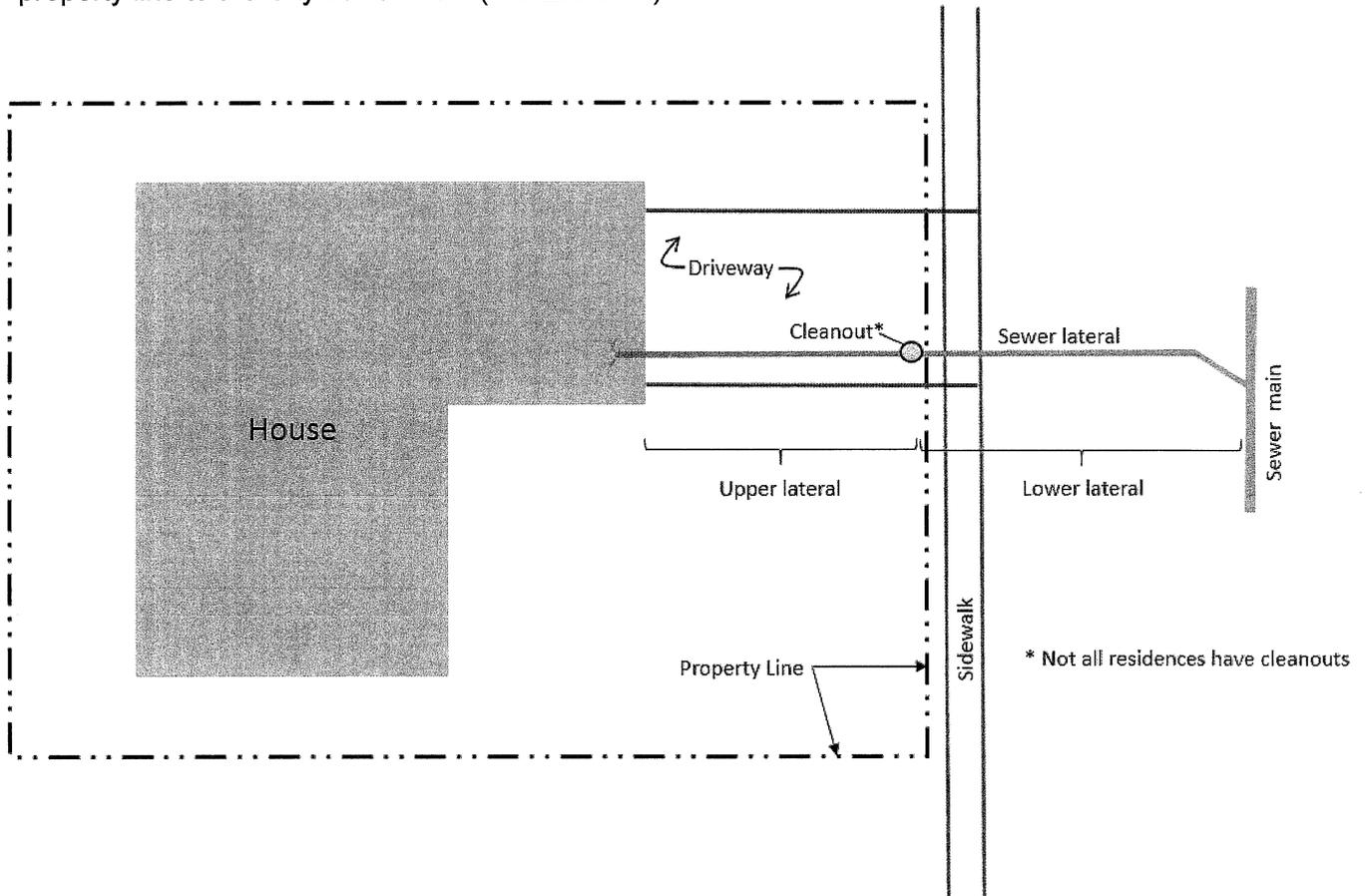
### **DISCUSSION:**

The sanitary sewer system, as well as most of the infrastructure, within the neighborhood was installed in the late 1950's and is at or approaching its expected functional life of 50-60 years. Immediately after the PG&E pipeline and explosion, the heavily damaged and destroyed portions of the sewer system in the immediate vicinity of the incident were replaced. Subsequently, on December 13, 2011 the City Council confirmed the scope of the overall Crestmoor Reconstruction Project including the replacement of the entire sewer system within the neighborhood.

Phase II of the infrastructure replacement within the "fire-damaged" portion of the neighborhood was recently completed by Shaw Construction. The remaining portion of the neighborhood's infrastructure, serving about 300 residences, is being replaced as part of the approved Phase III Project currently in construction. For the Crestmoor Neighborhood, there are numerous factors to consider as part of the sewer infrastructure replacement. These include the work that is typical for a City sewer replacement project, the work previously performed on earlier phases of the project, and other policy decisions including the potential of financial assistance to residents who elect to replace their laterals. These issues are further outlined below.

Typical City Sewer Main Replacement Project

When the City performs a typical sewer replacement project, only the sewer main and the portion of the sewer lateral within the public right-of-way is replaced. The sewer lateral is the section of underground pipe that extends from the home and connects to the City sewer main. The upper lateral runs from the home to the property line. The lower lateral runs from the property line to the City sewer main (see Exhibit 1).

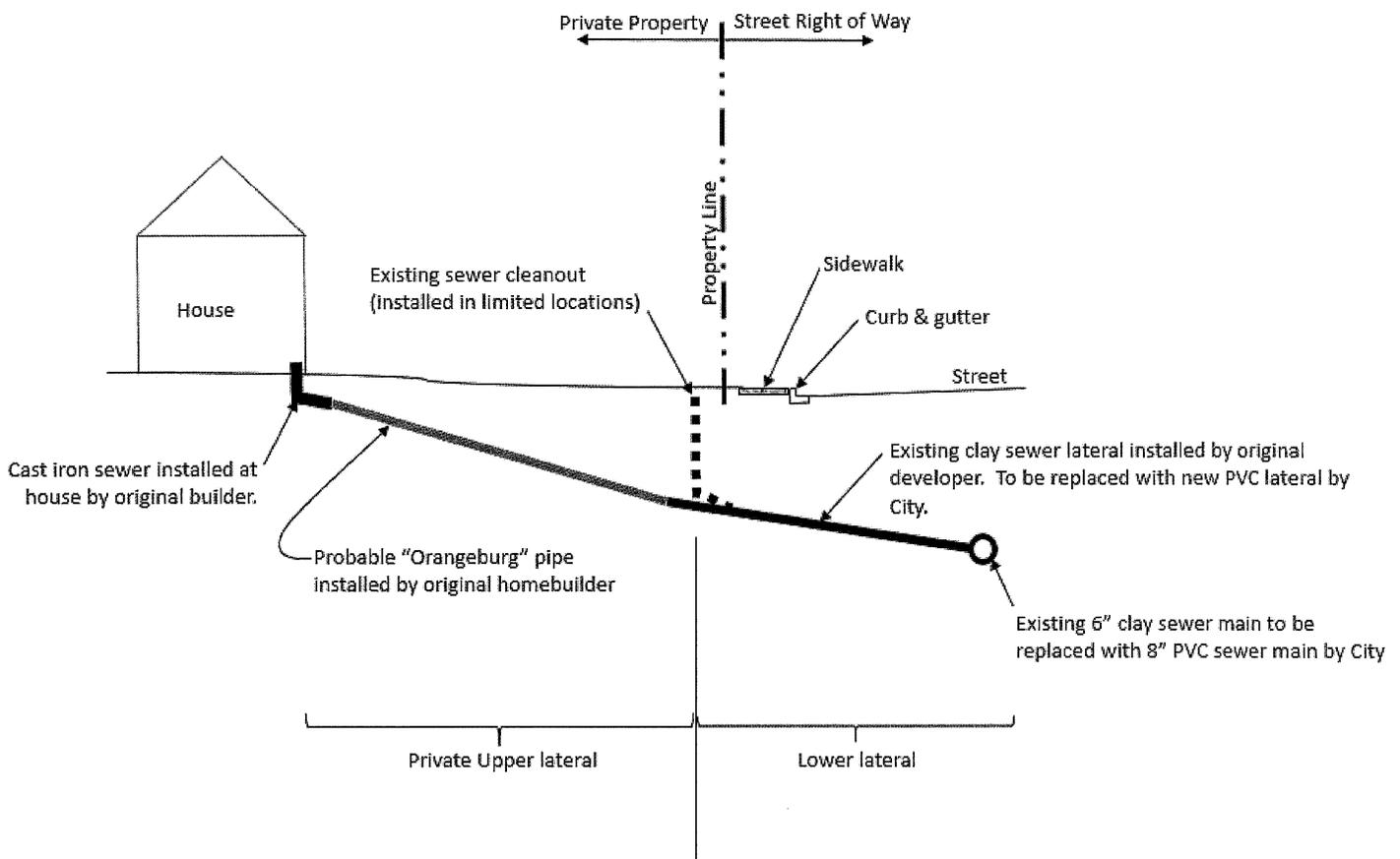


**Exhibit 1**

The City does not perform an inspection or make any representations regarding the condition of the upper lateral. If the upper lateral is in good condition at the point of connection, the City will connect the new lower lateral to the existing upper lateral. However, when the sewer laterals are old (50-years old or more), the City recommends that the property owner take the opportunity have their lateral inspected, replaced if necessary, and a cleanout installed. These are all at the cost of the property owner as they all are located on private property. By installing a cleanout (a new access allowing for cleaning and maintenance of the lateral) at or near the property line, the property owner receives the benefit that the City will assume responsibility for maintaining the lower lateral. If no cleanout exists, the property owner is responsible for maintaining both the upper and lower laterals from the house to the sewer main in the street (City Ordinance 8.24.200). The City will not connect a new lower lateral to a damaged or nonfunctioning upper lateral. In this instance, the City provides a temporary connection and gives the owner a reasonable time to replace the upper lateral.

Crestmoor Project Sewer Main Replacement

Based upon field conditions encountered to date and the experience from the Crestmoor Neighborhood Phase II Reconstruction project, the likely existing conditions throughout the remaining neighborhood are shown in Exhibit 2. While the existing sewer main and lower lateral are clay pipe, the upper lateral to most of the homes is most likely a material known as Orangeburg pipe. This material was used from the early 1940's to about 1960 as sewer pipe. It was made from wood fibers and tar pitch. Its useful life is about 50 years and it is subject to deterioration as it ages. Some residents of the Crestmoor neighborhood have replaced their lateral pipe (Orangeburg) within the recent past.



**Exhibit 2**

The location of the sewer lateral on each property may vary. For some residences the upper sewer lateral falls within a side yard or front yard where there is lawn or landscaping. In other instances, the upper lateral is below the driveway or other "hardscape" such as walkways, retaining walls of other surface structures. Depending upon the location of the lateral and the surface material above it, property owners may have the option of having a plumber replace their lateral by excavating a trench to remove and replace the lateral or use a trenchless method such as pipe bursting.

Consistent with the approach on the recently completed Phase II project, the Phase III project exceeds the provisions of a typical City sewer replacement project, as described in the section above. This includes performing the following work as part of the reconstruction effort:

- Having the City's contractor perform a televised inspection of the upper sewer lateral at the time the lower lateral is replaced. The condition of the pipe will be shared with the owner.
- Providing the option to the property owner for the City to install a sewer cleanout just inside the property line. If a cleanout is desired, the surface immediately around the cleanout will be restored, as best as possible, to the pre-construction condition. In some instances, it is not possible to exactly match the existing surface (e.g., stamped concrete, pavers, exposed aggregate, etc.). In these instances, the owner may elect to decline the installation of the cleanout.

The replacement of the upper lateral is a responsibility of the property owner and is not included in the reconstruction project. However, City Council may want to consider some assistance to the property owners as described in more detail below. Staff does not recommend that the City contractor for the Phase III project perform upper lateral replacements, even if it is via a separate agreement to which the City is not a party. The cost to a property owner to replace the upper lateral is estimated to average approximately \$5,000, but can be as much as \$10,000 or more depending upon the method of installation and the amount and extent of surface restoration.

#### Potential City Assistance for Upper Lateral Replacement

As part of the settlement of a lawsuit by the San Francisco Baykeeper organization filed against the City of San Bruno in February 2010, the City agreed to reduce sewer spills over a ten-year period and improve operations and maintenance practices to meet or exceed industry standards. Additionally, the City established a nearly \$200,000 grant program that assists eligible homeowners, within the Rollingwood sewer basin, in replacing broken private sewage lines. This program allows property owners to be reimbursed for one-half of the cost of the replacement of the upper lateral, up to a maximum amount of \$1,700 per residence. The City Council may want to consider similar financial assistance for residents of the Crestmoor neighborhood.

It should also be noted that as part of the Baykeeper settlement, there is a requirement for the City Manager to bring an ordinance for consideration by the City Council on or before February 2014 to implement an "on sale" requirement for all homes sold within the City to inspect their sewer lateral and replace any Orangeburg pipe that is present. Thus the replacement of Orangeburg pipe in the City may eventually occur, but only over many years as homes are sold. Implementing a private lateral replacement program in the Crestmoor Neighborhood could become an early part of addressing this portion of the settlement with Baykeeper. The cost could be covered by the funds provided from the PG&E trust agreement to reconstruct the infrastructure in the neighborhood. For reference, if 300, of a total of 336 eligible, residents of the Crestmoor neighborhood took advantage of a program such as this, the total cost would be \$510,000. The newly reconstructed homes and any homes to be built on the vacant lots have or will have new laterals that meet City Public Services standards (PVC or HDPE pipe).

If financial assistance is offered, some considerations that City Council will need to provide direction to staff include:

- Will assistance only be offered to residents who elect to replace the sewer laterals concurrent with the Phase III project?
- Will a similar offer be made to a resident in the Phase II area who did not elect to replace their laterals?
- Will reimbursement be offered to a resident who has already replaced their Orangeburg laterals? If so, during what timeframe?
- Will assistance be offered for residents who want to replace their laterals in the future? If so, during what time frame will the assistance be offered?

A potential total of 336 homes fall into the categories per the questions above.

Staff recommends that a reasonable and fair approach to provide assistance is as follows:

- Any resident wishing to replace their private upper lateral concurrent with the City's ongoing Phase III project in construction now, will be eligible for reimbursement of up to one-half of the lateral replacement cost, including surface restoration, not to exceed a total of \$1,700.
- Any resident who will replace their private upper lateral prior to the completion of the last phase overall Crestmoor Reconstruction project in the neighborhood (prior to January 1, 2015) will be eligible for reimbursement of up to one-half of the lateral replacement cost, including surface restoration, not to exceed a total of \$1,700.
- With the exception of any home that has been reconstructed, any resident who has replaced their private upper lateral since the PG&E gas pipeline explosion and fire (September 9, 2010) will be eligible for reimbursement of up to one-half of the lateral replacement cost, including surface restoration, not to exceed a total of \$1,700.

All sewer lateral replacement shall be performed by private contractors (not the City's reconstruction contractor) and shall be paid directly by the resident. Residents seeking reimbursement of the lateral costs shall submit receipts for the work performed to the City.

#### **FISCAL IMPACT:**

The cost of television inspection of the sewer laterals and providing cleanouts to each home within the Crestmoor Reconstruction project are included in the project costs and were a part of the recently awarded Phase III construction contract to JMB Construction. If the City Council directs staff to extend financial assistance of up to \$1,700 per lateral to all potential residents (336 homes) for upper lateral replacement costs, the maximum total cost would be \$571,200. Costs for the lateral reimbursement would be covered through the City's Trust Agreement funded by PG&E.

#### **ALTERNATIVES:**

1. Direct staff to proceed with sewer lateral replacement for the Phase III project consistent with the previous work within the Crestmoor neighborhood with no financial assistance to residents who replace their private laterals..
2. Direct staff to implement a financial assistance program to provide reimbursement to residents for one-half of the costs of their lateral replacement, up to a different maximum amount as directed by City Council.

**RECOMMENDATION:**

Adopt Resolution Approving a Sanitary Sewer Lateral Replacement Program in the Crestmoor Neighborhood

**ATTACHMENTS:**

Resolution

**DISTRIBUTION:**

None

**DATE PREPARED:**

August 19, 2013

**REVIEWED BY:**

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